

Edward Marks Building Advisory Committee
Town Hall, 59 Town Hall Sq., Falmouth MA.
Meeting Minutes, April 18, 2024

Attendees: Barbara Weyand Jed Cornock
 Ed Haddad (phone) Doug Brown
 Tom Renshaw
 Jean Pierre Riu
 Mike Duffany
 Christian Valle

1. **Discuss Voting by Phone:** Committee agreed to allow members to vote by phone if necessary.
2. **Final Review of Notations from Jed/Tom on the Exterior Design Plan for DHK:** DHK's final drafts were received and reviewed by the Committee which included comments previously discussed and submitted. The Committee reviewed the newly submitted plans and had the following initial comments:
 - a. Tom Renshaw raised concerns about several items in the plans: remove gutters, replace parging, replace window trims, replace corner boards, remove roof canopy, and replace window casings.
 - i. No work to be done on portico roof canopy.
 - ii. Columns appear to be round, should be square.
 - iii. No new gutters, should be remove downspouts and reinstall.
 - iv. Parging not to be removed, only repair two patches on east and front.
 - v. Window casings should only be repaired.
 - vi. Corner boards don't need to be replaced now, maybe when siding is installed.
 - b. Remove electrical box on west side (DPW)
 - c. Front Door (Sheet A500) approved previously.
 - i. Replace interior and exterior door trim with appropriate.
 - ii. Thumb latch handle – brass or oil rubbed bronze. Knob interior.
 - iii. Screen door: wood frame with glass and bronze mesh.
 - iv. Recommend old growth Douglas fir.
 - v. Committee concerned whether contractor would secure and appropriate door. Requests that contractor submit spec to committee for approval before buying door.
 - vi. Three custom vendors identified: Upstate Doors, Rogue Valley, Simpson.
 - d. Portico Decking – Douglas fir
 - i. No deck sealer, treat with linseed oil mix.
 - e. Bulkhead replacement
 - i. Could the Town purchase bulkhead from Bilco?
 - ii. Mike Duffany will install.
 - f. Move plaque from front door to rear main entrance.
 - i. Maybe add a date plaque in front.
 - g. Air Conditioner shield: wood or shrubbery?
3. **Review In-Kind Policy as it applies to this project:**
 - a. Jed confirmed the policy only applies to this project.
4. **Consider elements remaining for the final restoration phase. Determine who will be responsible for getting costs which will result in a CPC funding proposal:**

- a. Due to extensive conversation about the current design plans, the Committee determined that this topic be reserved for a future meeting. There was consensus that a CPC funding application should be filed this August.

Next Meeting: May 2 to discuss cost elements of phase 2 and where are we with phase 3.
Jed to confirm either the Select Board Meeting Room or the Old Water Dept. Conference Room.

PROJECT:

HISTORIC EXTERIOR EDWARDS MARKS BUILDING

744 MAIN STREET FALMOUTH, MA 02540

PROJECT NUMBER: MPPF #4316

PREPARED FOR:

TOWN OF FALMOUTH MA
HUMAN SERVICES DEPARTMENT

DATE AND TYPE OF SUBMISSION:

MARCH 31, 2023

100% FOR REVIEW BY MASS HISTORIC COMMISSION



EDWARD MARKS BUILDING

ARCHITECTURAL DESIGN AND MANAGEMENT:



DHK
ARCHITECTS

DHK Architects, Inc.
54 Canal Street
Suite 200
Boston, MA 02114
tel: 617.267.6408
fax: 617.267.1990
www.dhkinc.com
Project Contact: Wayne Gething
wething@dhkinc.com

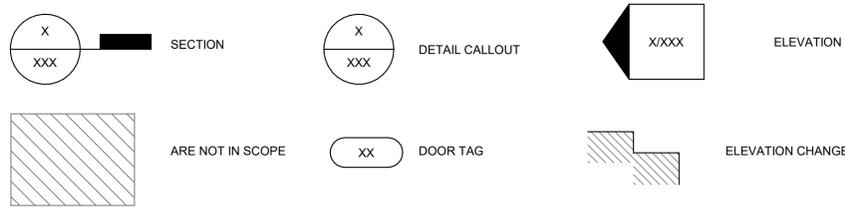
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Architect: Mickey Krockmalnic
mkrockmalnic@dhkinc.com

SHEET LIST

G000	COVER SHEET
G001	GENERAL NOTES AND SYMBOLS
D101	DEMO PLANS
D102	BASEMENT DEMOLITION PLANS
D200	DEMOLITION ELEVATIONS
A100	NEW WORK PLANS
A101	NEW WORK PORCH FRAMING PLANS
A101a	NEW WORK PORCH CONCRETE BASES
A102	NEW WORK BASEMENT FLOOR PLAN
A200	NEW WORK ELEVATIONS
A201	NEW WORK ELEVATIONS
A202	NEW WORK ELEVATIONS
A300	NEW WORK SECTIONS
A301	NEW WORK SECTIONS
A500	DOOR SCHEDULE AND NEW WORK DETAILS

SYMBOLS



PROJECT DESCRIPTION

THE EXISTING EDWARD MARKS BUILDING EXISTING WOOD FRONT STOOP SHALL BE DEMOLISHED AND RECONSTRUCTED USING NEW BUILDING MATERIALS. THE DIMENSIONS OF THE NEW STOOP SHALL MATCH THE DIMENSIONS OF THE EXISTING STOOP. ALSO INCLUDED IN THIS SCOPE WILL BE THE REMOVAL OF THE EXISTING HISTORICAL GRANITE STEPS WHICH WILL BE LEVELED AND RESET. IN ADDITION TO THE FRONT STOOP, THE EXISTING FRONT DOOR AND WOOD FINISH TRIM SHALL BE REMOVED AND REPLACED WITH A NEW DOOR AND NEW WOOD FINISH TRIM. AT THE SOUTHWEST SIDE OF THE BUILDING, THE EXISTING METAL BULKHEAD DOOR AND EXTENSION SHALL BE REMOVED AND REPLACED WITH A NEW BULKHEAD DOOR AND EXTENSION.

GENERAL NOTES

1. THE EDWARD MARKS BUILDING IS IN THE STATE REGISTER OF HISTORIC PLACES THEREFORE ALL PROPOSED WORK TO THE BUILDING MUST COMPLY WITH THE PRESERVATION RESTRICTION AGREEMENT BETWEEN THE MASSACHUSETTS HISTORIC COMMISSION AND THE TOWN OF FALMOUTH. A COPY OF THE DEED RESTRICTION IS IN THE PROJECT SPEC BOOK.
2. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES, REGULATIONS, AND RESTRICTIONS WHICH APPLY TO THIS PROJECT.
3. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. THE GENERAL CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER ALL DISCREPANCIES HAVE BEEN RESOLVED BY THE ARCHITECT.
4. WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE DRAWINGS.
5. BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED BY NEW WORK, DEMOLITION OR WHICH MAY BE DAMAGED BY THE GENERAL CONTRACTOR OR ANY SUBCONTRACTORS SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR BY METHODS DESCRIBED IN THIS CONTRACT, OR AS APPROVED BY THE ARCHITECT.
6. CONSULT WITH THE ARCHITECT BEFORE PENETRATING ALL JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS.
7. THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ANY BUILDING PERMITS REQUIRED AND CARRY ANY INSURANCE COVERAGES REQUIRED.
8. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS, CONTRACT DOCUMENTS AND OTHER DOCUMENTS APPROVED BY THE ARCHITECT AND ANY/ALL AUTHORITIES.
9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PANEL CONTROL AND CIRCUIT DESIGN AND FOR COMPLIANCE WITH ALL BUILDING, LIFE SAFETY, AND NATIONAL ELECTRICAL CODES WHICH MAY APPLY.
10. ALL WOOD COMPONENTS (INCLUDING BUT NOT LIMITED TO FRAMING MILLWORK, TRIM, AND BLOCKING) SHALL BE FIRE-TREATED.
11. THE GENERAL CONTRACTOR SHALL DISPOSE OF ALL WASTE AND DEBRIS OFF THE PREMISES. DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS. DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS.
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE WORK OF ALL TRADES. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY AND ALL CONFLICTS BETWEEN THE TRADES AND SHALL OBTAIN A WRITTEN RESOLUTION FROM THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION IN ALL AREAS AFFECTED BY THE CONFLICT.
13. PROVIDE ALL TEMPORARY FACILITIES AND SERVICES, CONSTRUCTION AND SUPPORT FACILITIES, AND SECURITY AND PROTECTION AS NEEDED TO PROTECT NEW AND EXISTING CONSTRUCTION FOR THE DURATION OF A COMPLETE INSTALLATION.
14. PROVIDE UTILITY INSTALLATIONS FROM LOT LINE TO BUILDINGS TO COMPLY WITH ALL LOCAL CODES AND REQUIREMENTS.
15. SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS/RODENTS.
16. ALL EXPOSED UTILITY WIRES AND PIPES (ELECTRICAL, PLUMBING, ETC.) SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS, AND CEILING AREAS. THEY SHALL BE INSTALLED A MINIMUM OF 6" OFF FLOORS AND 1" OFF WALLS, CEILINGS AND ADJACENT PIPES.
17. ALL MATERIALS & EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
18. GUARANTEE: ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS OTHERWISE SPECIFIED FOR A LONGER PERIOD OF TIME ON A CERTAIN ITEM.
19. ALL VOIDS CREATED OR SURFACES DISTURBED RESULTING FROM CUTTING, REMOVAL OR INSTALLATION OF ELEMENTS AS PART OF THE WORK SHALL BE FILLED AND FINISHED TO MATCH ADJOINING CONSTRUCTION.
20. PROVIDE ADEQUATE BLOCKING, BRACING, NAILERS, FASTENINGS AND OTHER SUPPORTS SHALL BE A TYPE NOT SUBJECT TO DETERIORATION OR WEAKENING AS THE RESULT OF ENVIRONMENTAL CONDITIONS OR AGING.
21. SEE SPECIFICATIONS AND HAZARDOUS MATERIAL REPORT FOR HAZARDOUS MATERIAL MITIGATION REQUIRED IN THE BUILDING.



DHK

ARCHITECTS

DHK Architects, Inc.
54 Canal Street
Suite 200
Boston, MA 02114
617.267.6408

PROJECT

HISTORIC EXTERIOR

EDWARDS MARKS BUILDING

744 MAIN STREET, FALMOUTH,
MA, 02540

No.	Date	Revision

100% REVIEW

GENERAL NOTES AND SYMBOLS

SCALE
12" = 1'-0"

STAMP

FILE NAME
EDWARDS
MARKS
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DRAWN BY
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JOB NO.
5005.20

DATE
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DEMO PLANS

SCALE
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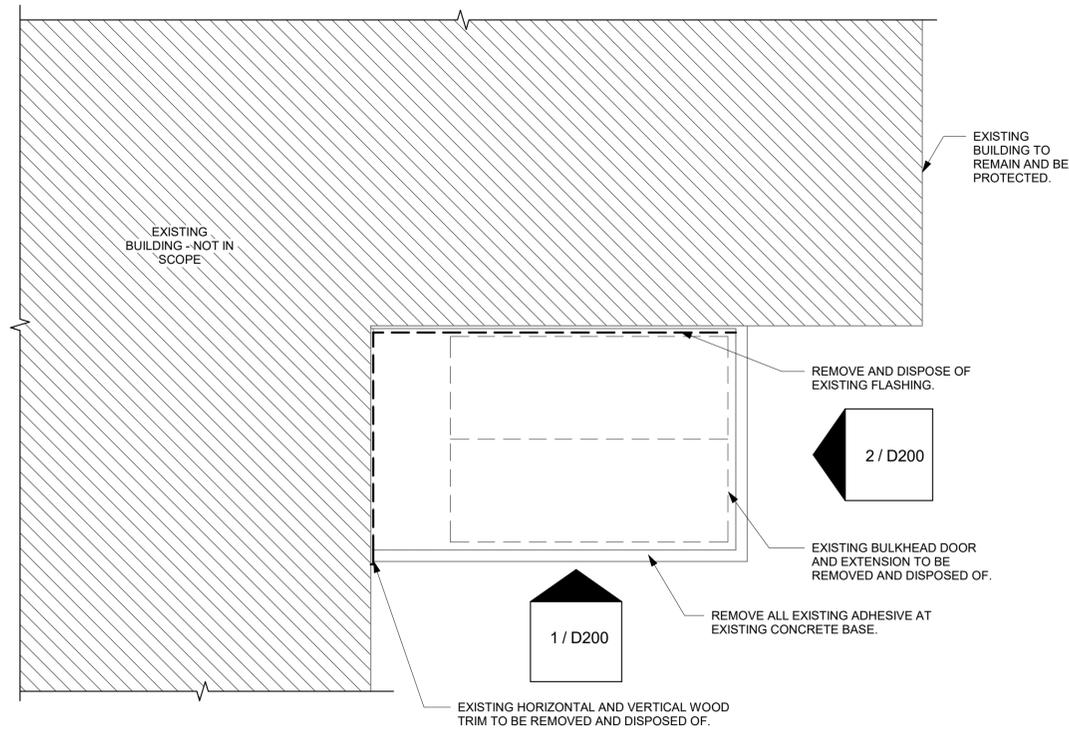
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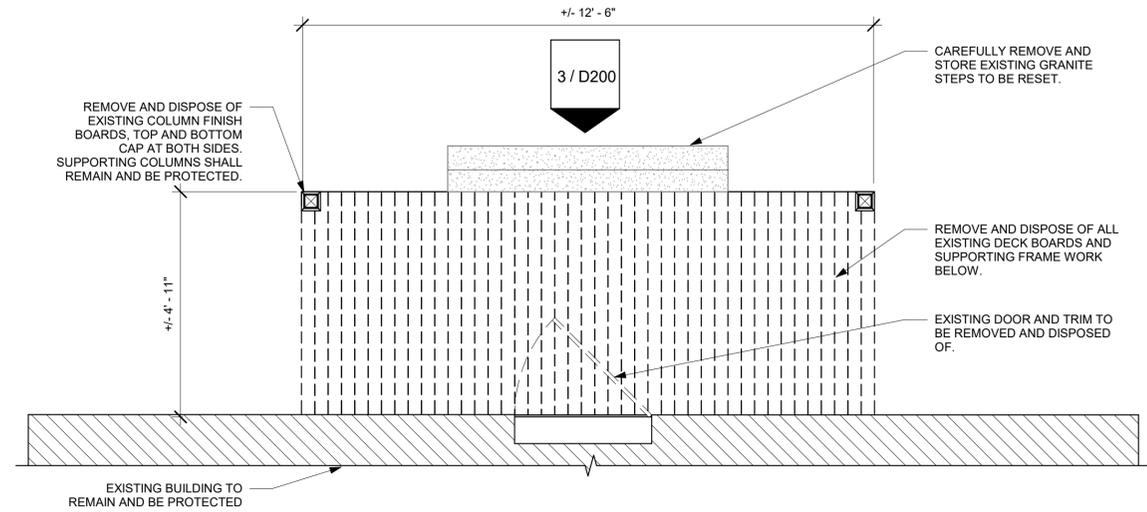
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NOTE: CONTRACTOR TO VERIFY EXISTING BULKHEAD DIMENSIONS PRIOR TO REMOVAL AND DISPOSAL OF DOOR.

③ DEMOLITION BULKHEAD DOOR
1/2" = 1'-0"



NOTE:
• CONTRACTOR SHALL ACCURATELY RECORD ALL DIMENSIONS OF WOOD TRIM TO BE REPLACED PRIOR TO REMOVAL AND DEMOLITION.
• CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS

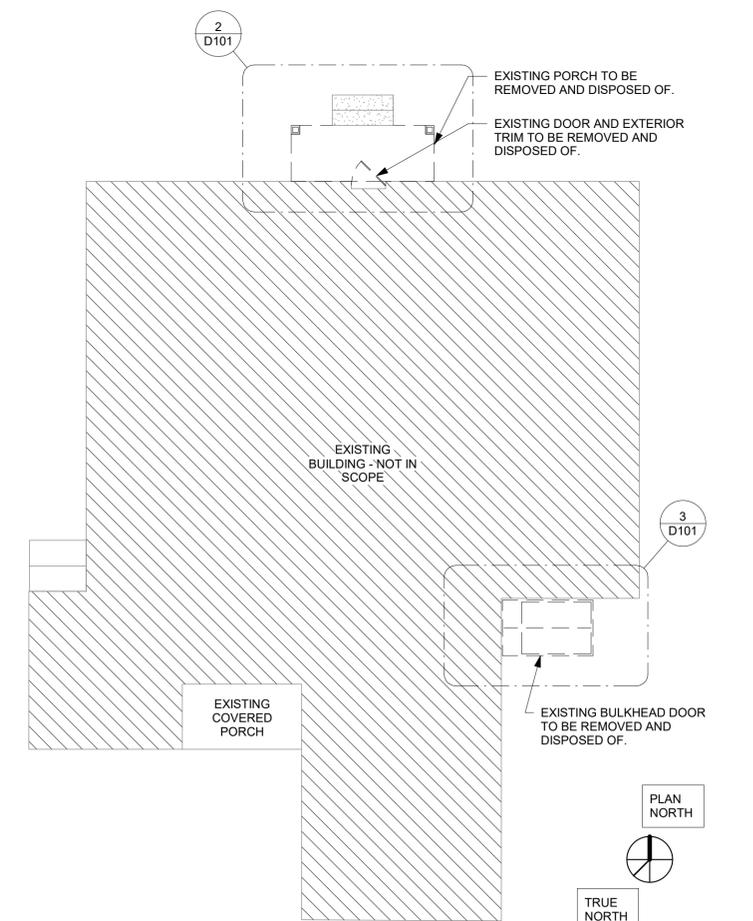
② DEMOLITION DECK PLAN
1/2" = 1'-0"



EXISTING BULKHEAD TO BE REMOVED AND DISPOSED OF



EXISTING WOOD PORCH, ENTRY DOOR, AND WOOD TRIM TO BE REMOVED AND DISPOSED OF



① OVERALL PLAN
1/8" = 1'-0"



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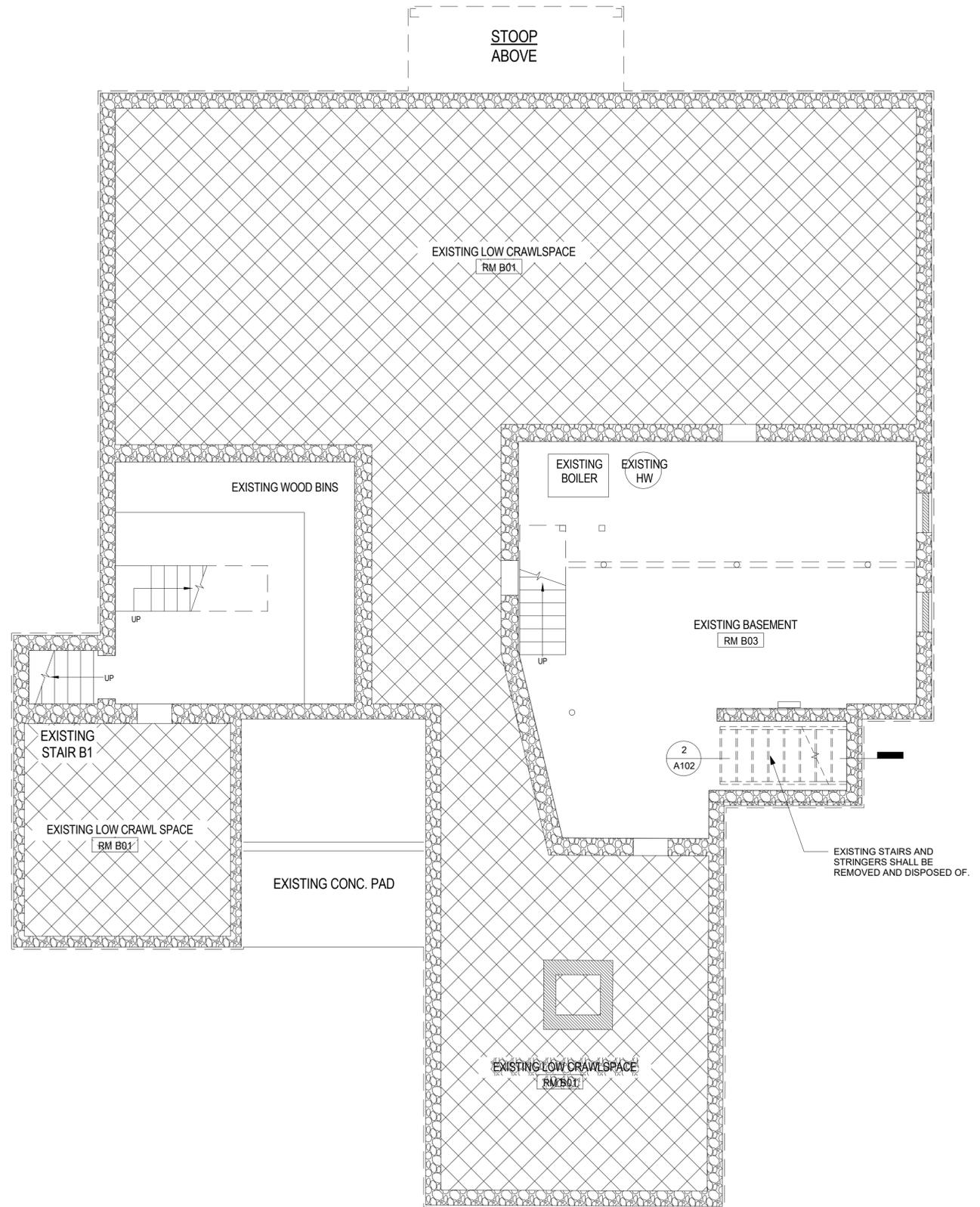
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Suite 200
Boston, MA 02114
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EXISTING BASEMENT STAIRS TO BE REMOVED AND DISPOSED OF



1 BASEMENT LEVEL DEMOLITION
1/4" = 1'-0"

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BASEMENT DEMOLITION
PLANS

SCALE
1/4" = 1'-0"

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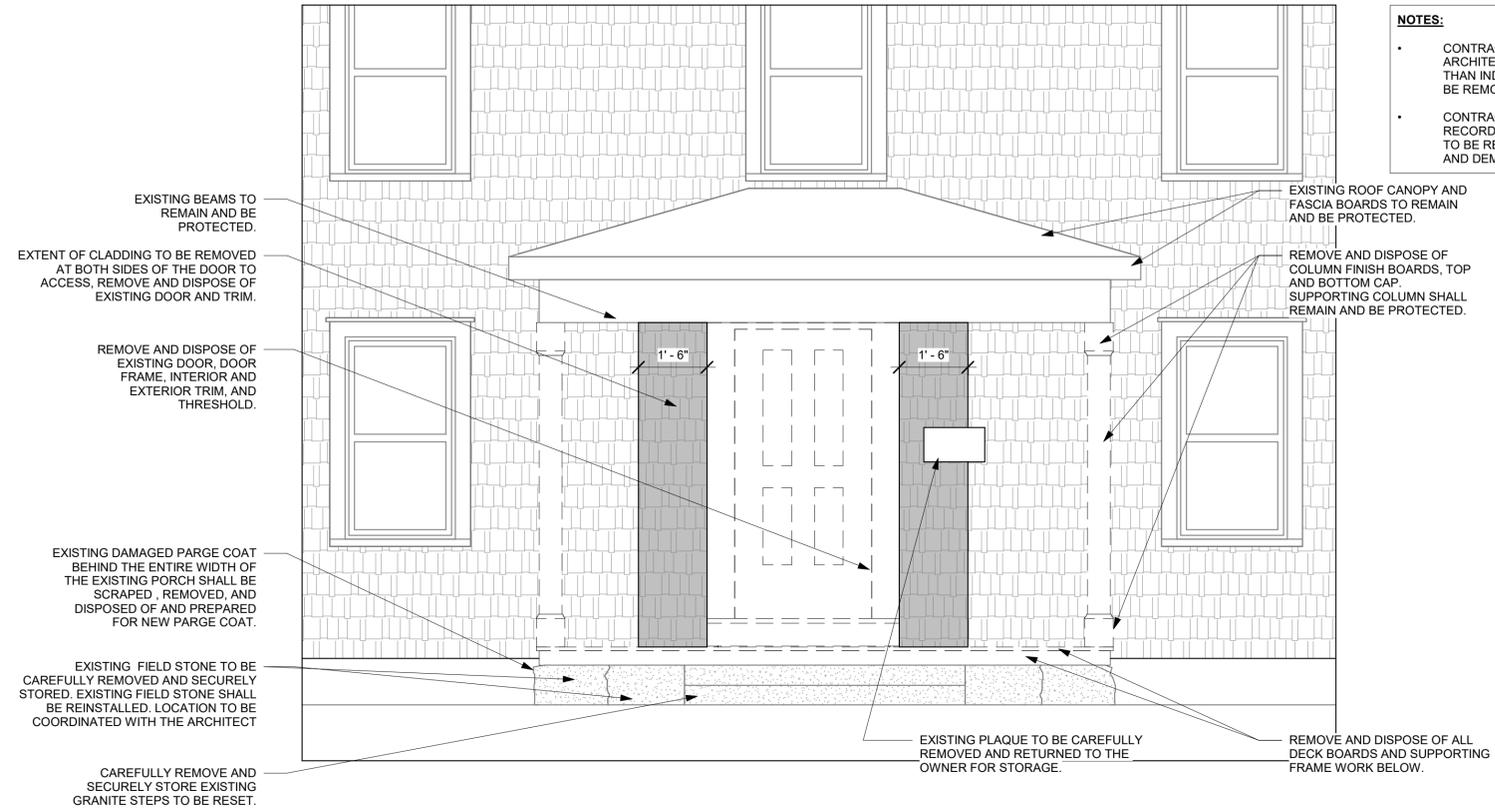
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EXISTING WOOD PORCH, ENTRY DOOR AND WOOD TRIM TO BE REMOVED AND DISPOSED OF

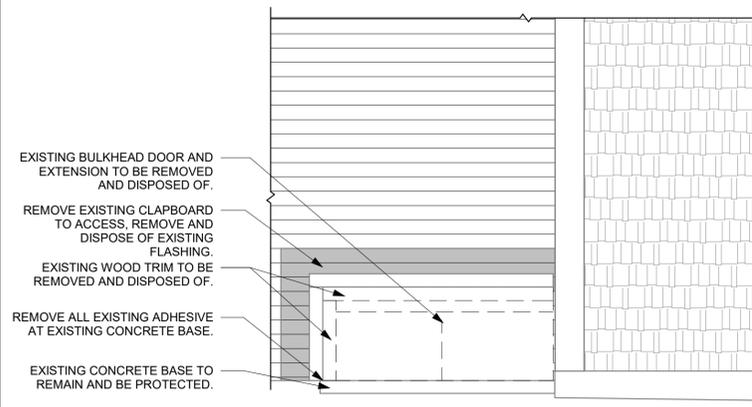


- NOTES:**
- CONTRACTOR SHALL REPORT TO ARCHITECT IF MORE EXISTING CLADDING THAN INDICATED SHALL BE REQUIRED TO BE REMOVED TO PERFORM THIS DETAIL.
 - CONTRACTOR SHALL ACCURATELY RECORD ALL DIMENSIONS OF WOOD TRIM TO BE REPLACED PRIOR TO REMOVAL AND DEMOLITION.

3 DEMOLITION ELEVATION
1/2" = 1'-0"



EXISTING BULKHEAD TO BE REMOVED AND DISPOSED OF



- NOTES:**
- CONTRACTOR SHALL REPORT TO ARCHITECT IF MORE EXISTING CLADDING THAN INDICATED SHALL BE REQUIRED TO BE REMOVED TO PERFORM THIS DETAIL.
 - CONTRACTOR TO VERIFY EXISTING BULKHEAD DIMENSIONS PRIOR TO REMOVAL AND DISPOSAL OF DOOR.



NOTE: CONTRACTOR TO VERIFY EXISTING BULKHEAD DIMENSIONS PRIOR TO REMOVAL AND DISPOSAL OF DOOR.

- NOTES:**
- CONTRACTOR SHALL REPORT TO ARCHITECT IF MORE EXISTING CLADDING THAN INDICATED SHALL BE REQUIRED TO BE REMOVED TO PERFORM THIS DETAIL.
 - CONTRACTOR TO VERIFY EXISTING BULKHEAD DIMENSIONS PRIOR TO REMOVAL AND DISPOSAL OF DOOR.

1 BULKHEAD DOOR DEMOLITION ELEVATION
1/2" = 1'-0"

2 BULKHEAD DOOR DEMOLITION ELEVATION SIDE
1/2" = 1'-0"

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DEMOLITION ELEVATIONS

SCALE 1/2" = 1'-0"	STAMP
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Boston, MA 02114
617.267.6408

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NEW WORK PLANS

SCALE
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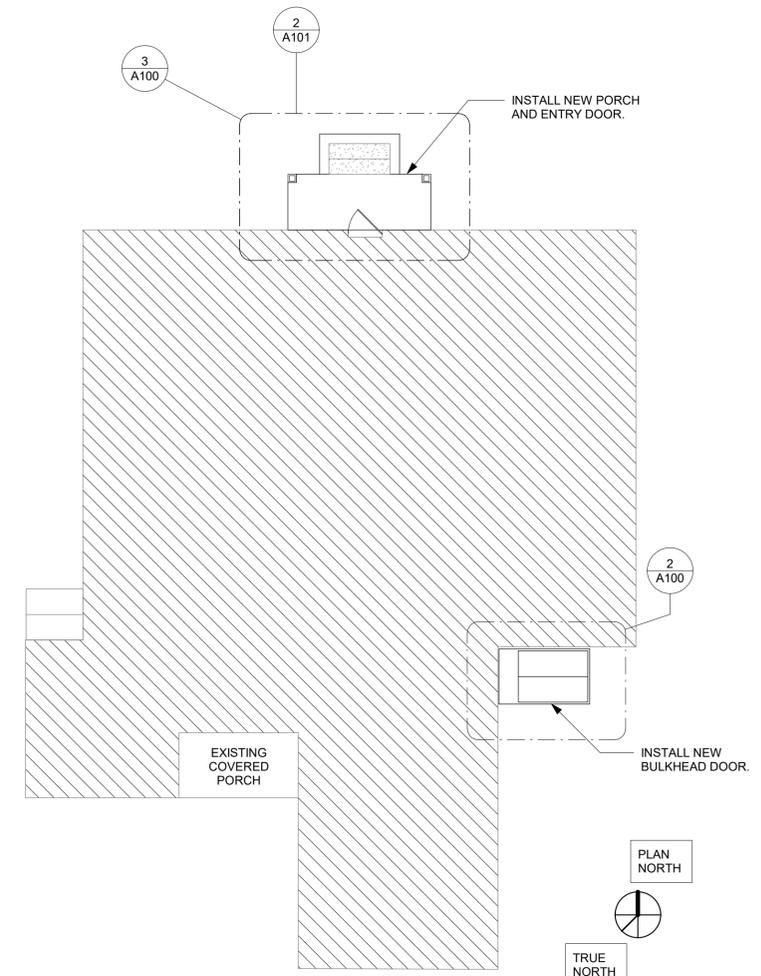
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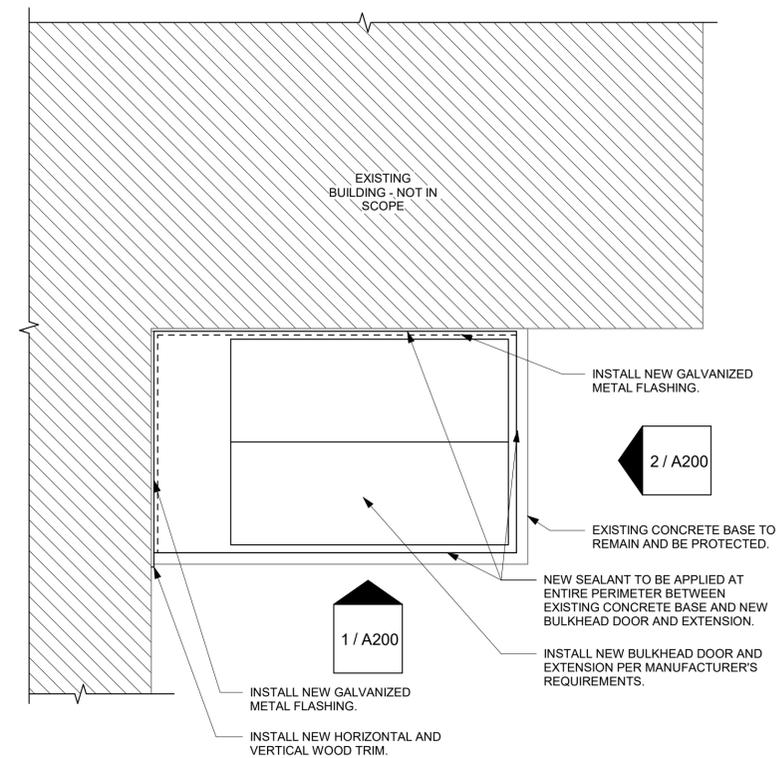
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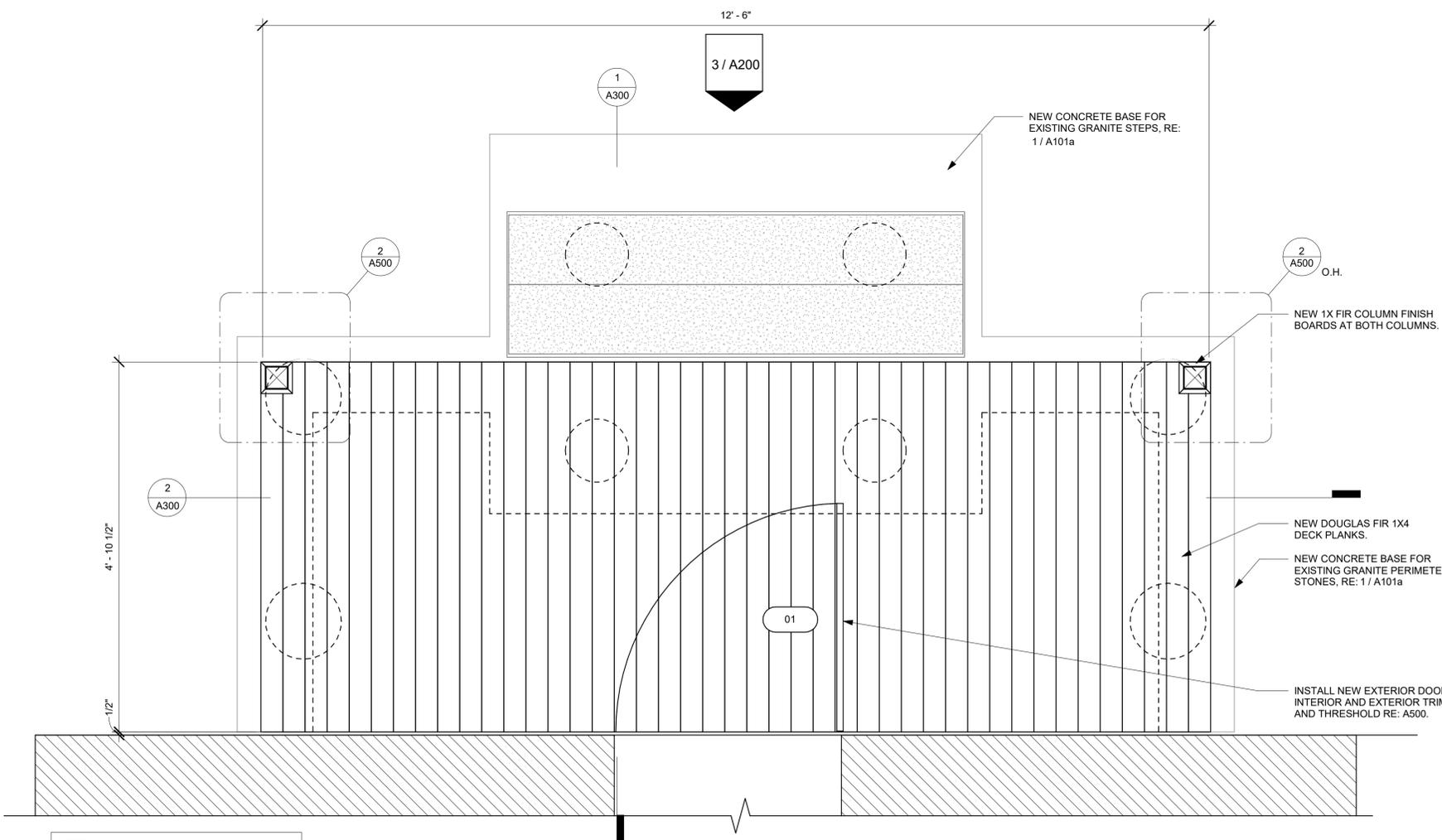


① NEW WORK OVERALL PLAN
1/8" = 1'-0"



② NEW WORK BULKHEAD DOOR
1/2" = 1'-0"

NOTE: BASIS OF BULKHEAD DOOR DESIGN IS BASED ON BILCO CLASSIC SERIES DOOR AND EXTENSION



NOTE: ALL FASTENERS SHALL BE STAINLESS STEEL UNLESS OTHERWISE NOTED

③ NEW WORK DECK PLAN
1" = 1'-0"

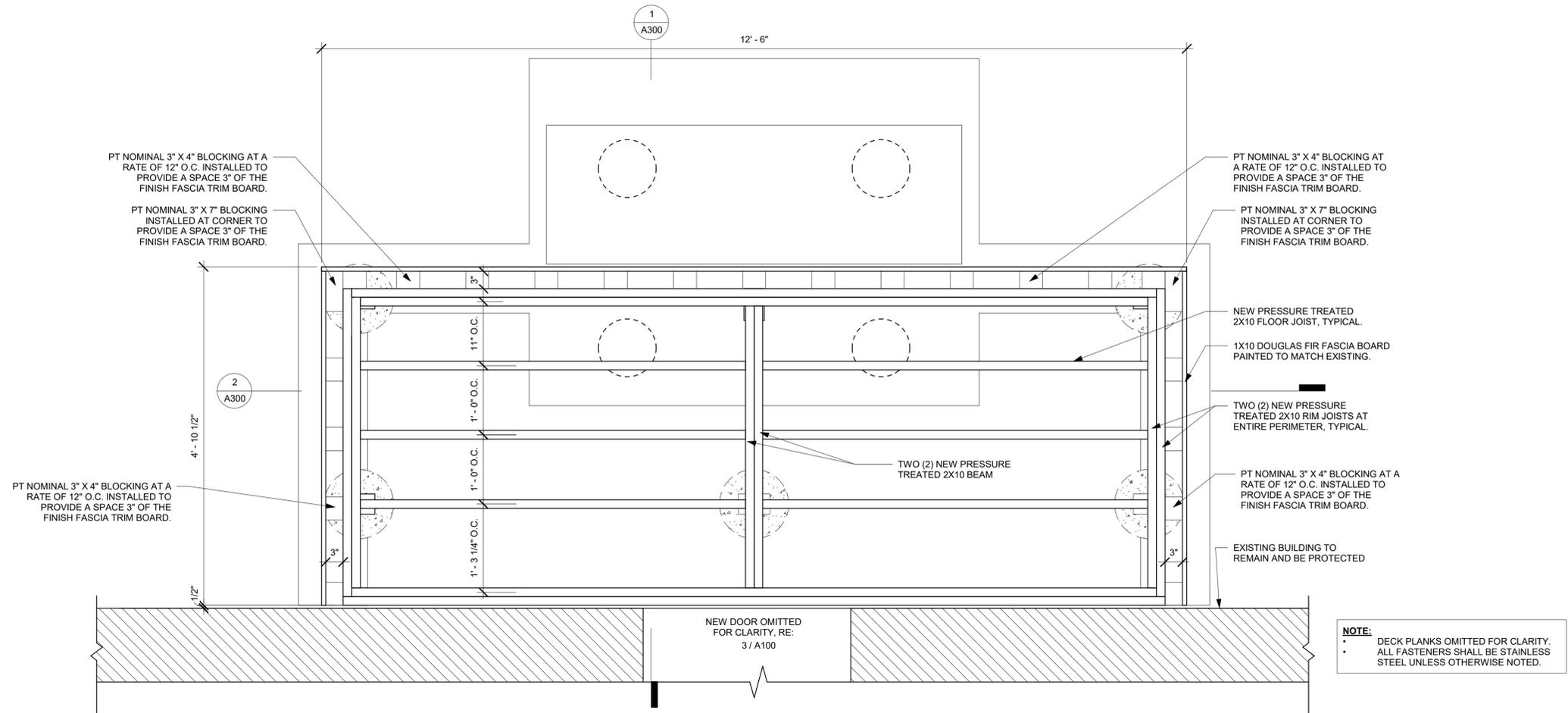
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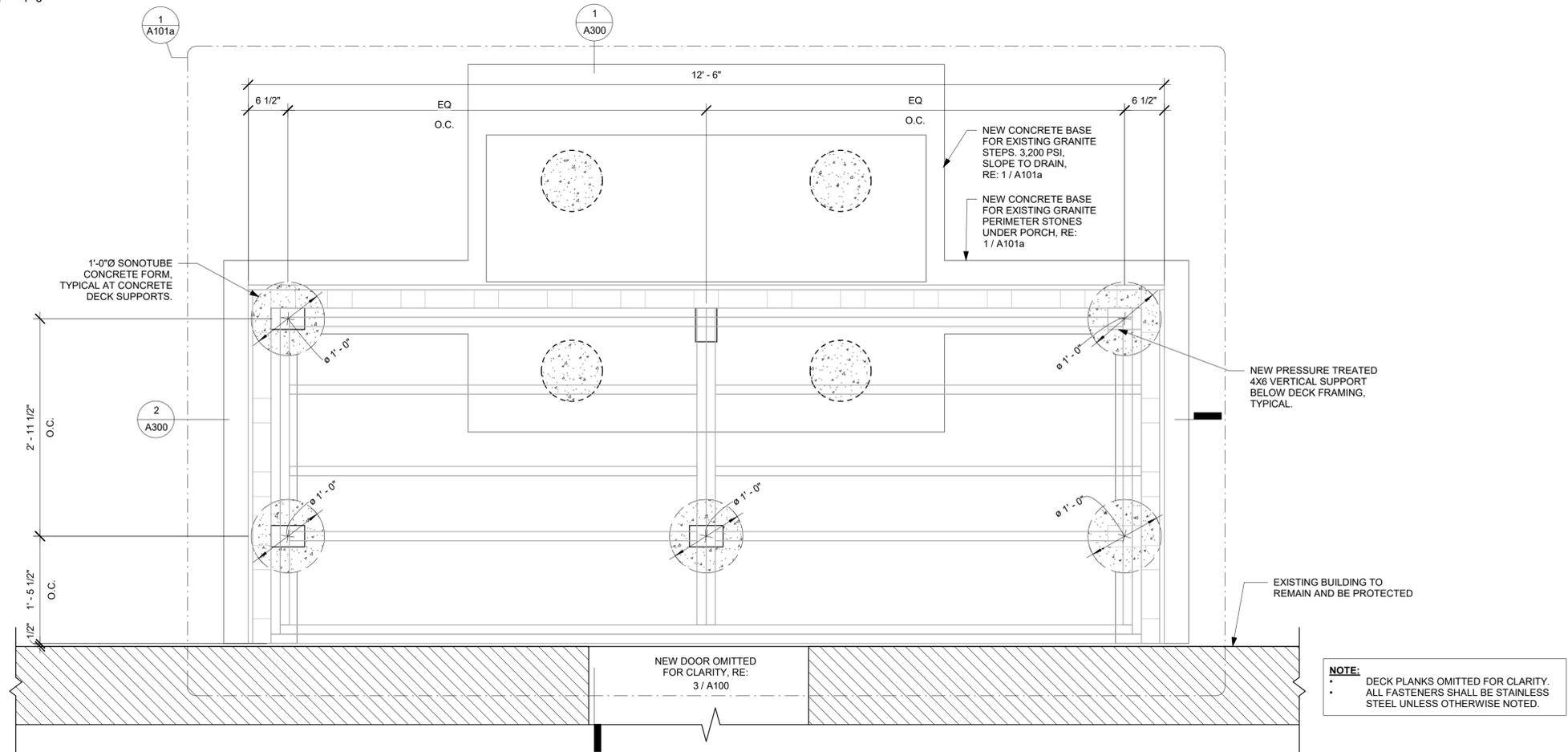
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2 NEW WORK DECK FRAMING PLAN (UPPER FRAMING)
1" = 1'-0"



1 NEW WORK DECK VERTICAL SUPPORT FRAMING PLAN (LOWER FRAMING)
1" = 1'-0"

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NEW WORK PORCH
FRAMING PLANS

SCALE
1" = 1'-0"

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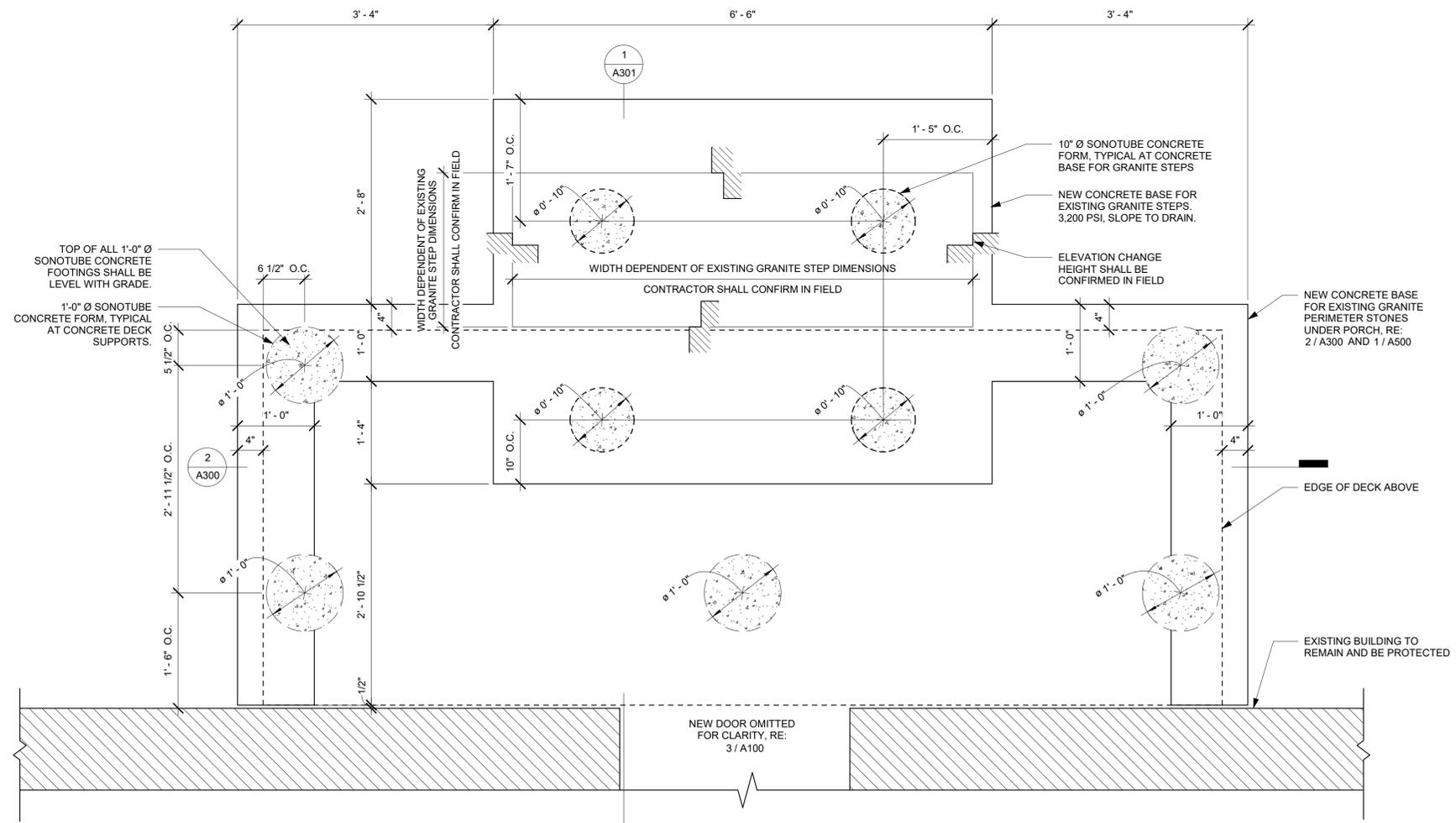


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1 NEW WORK - CONCRETE BASE
1" = 1'-0"

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NEW WORK PORCH
CONCRETE BASES

SCALE 1" = 1'-0" STAMP

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Boston, MA 02114
617.267.6408

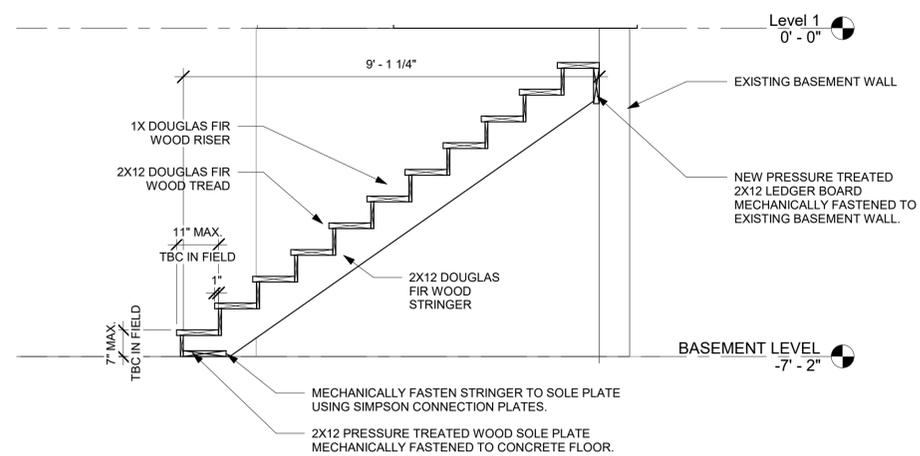
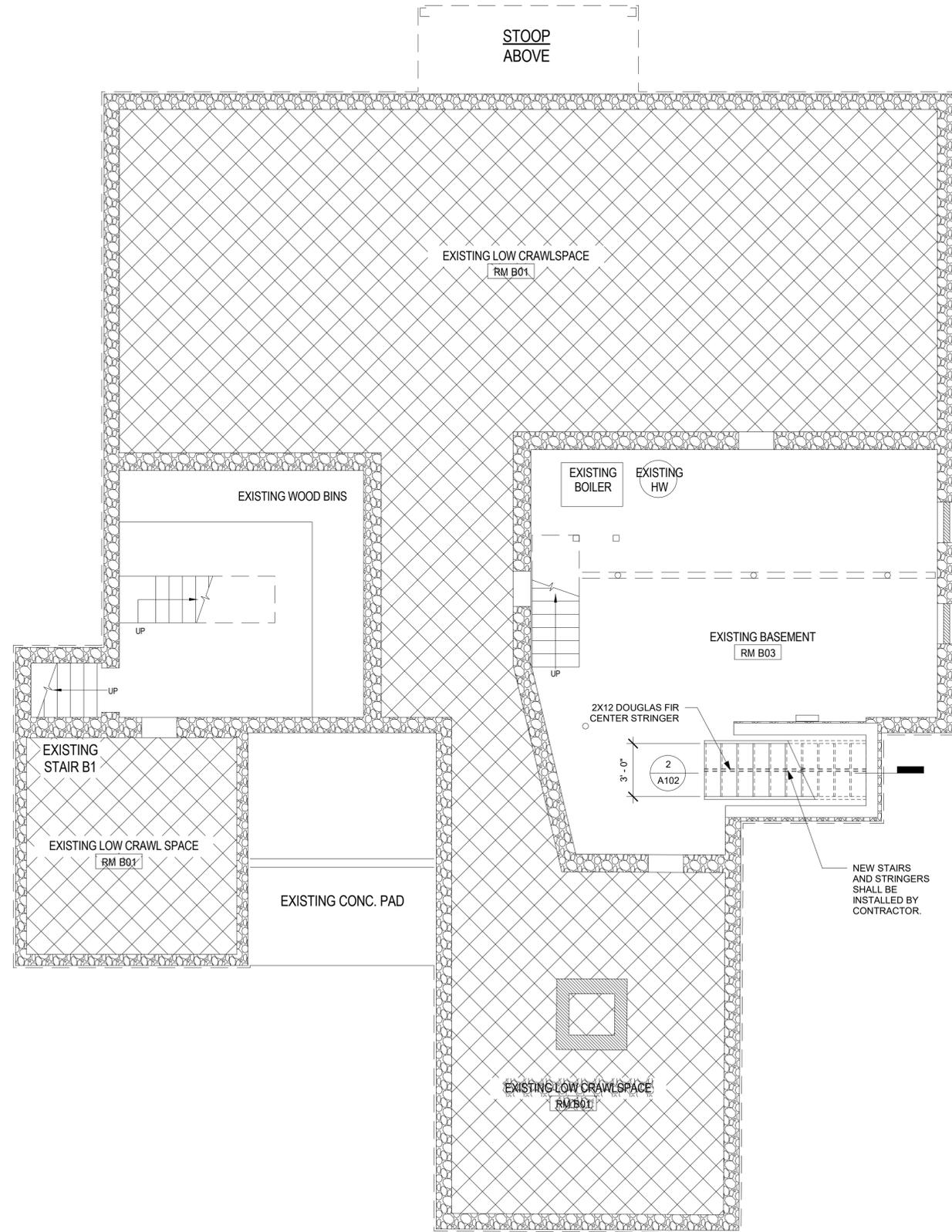
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NEW WORK BASEMENT
FLOOR PLAN

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② NEW BASEMENT STAIR SECTION
1/2" = 1'-0"

① BASEMENT LEVEL NEW WORK
1/4" = 1'-0"



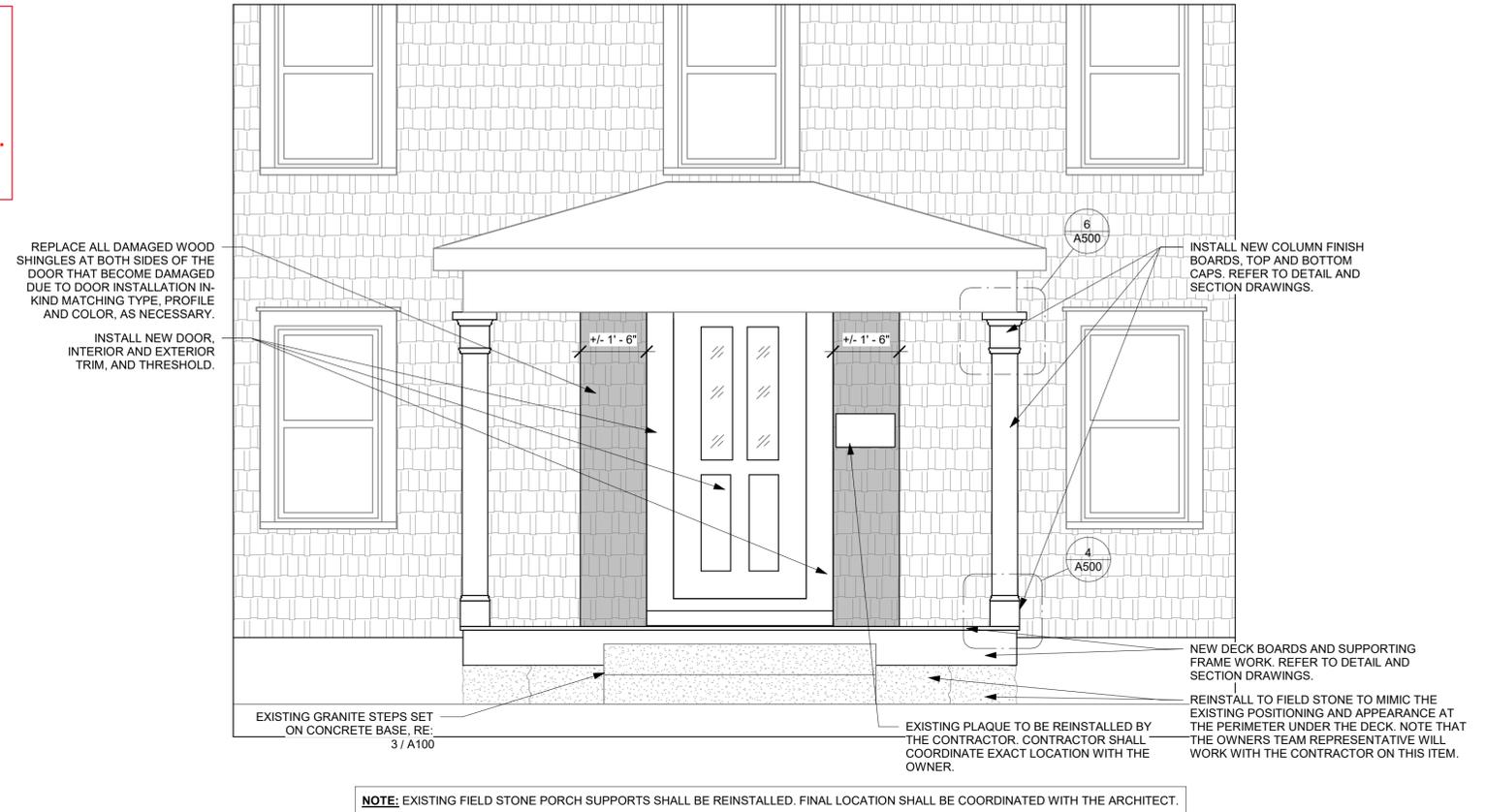
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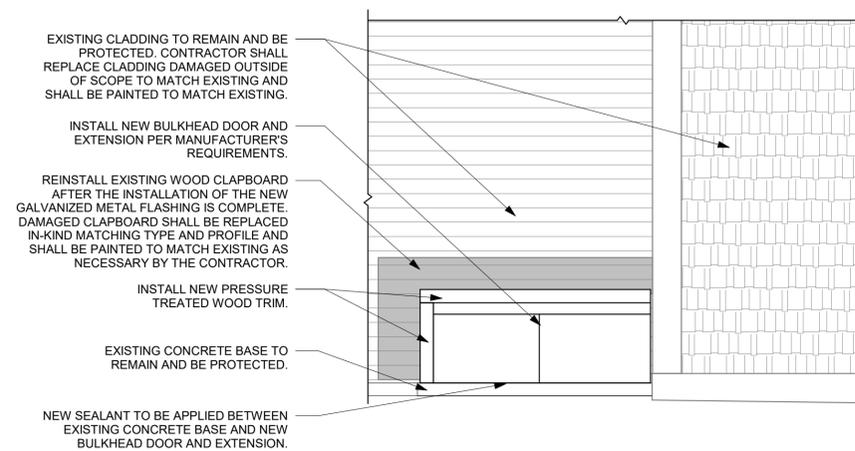
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617.267.6408

Portico in-kind work to include:

- 1) Existing stone/corner foundation not disturbed. Only reset and reuse.
- 2) Granite steps reset and reuse.
- 3) Rebuild masonry under deck as needed.
- 4) Replace decking with 1"x4" fir - trim has to be brought out so symmetrical.
- 5) Columns boxed at top - rebuild to mimic cornerboard detail.

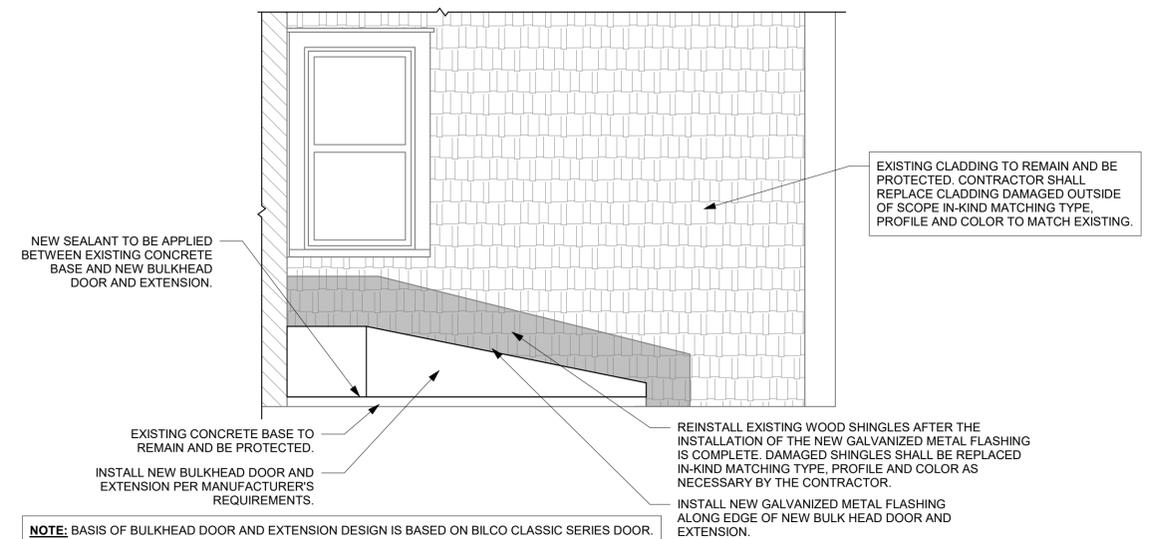


③ NEW WORK ELEVATION
1/2" = 1'-0"



NOTE: BASIS OF BULKHEAD DOOR AND EXTENSION DESIGN IS BASED ON BILCO CLASSIC SERIES DOOR.

② BULKHEAD DOOR NEW WORK ELEVATION SIDE
1/2" = 1'-0"



NOTE: BASIS OF BULKHEAD DOOR AND EXTENSION DESIGN IS BASED ON BILCO CLASSIC SERIES DOOR.

① BULKHEAD DOOR NEW WORK ELEVATION
1/2" = 1'-0"

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No.	Date	Revision

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NEW WORK ELEVATIONS

SCALE
1/2" = 1'-0"

STAMP

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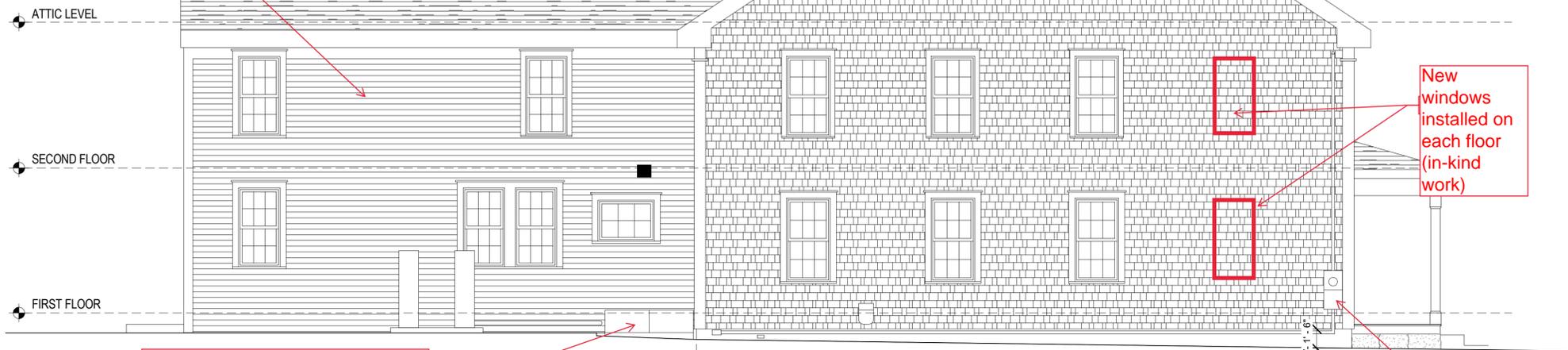
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DHK Architects, Inc.
54 Canal Street
Suite 200
Boston, MA 02114
617.267.6408



All 3 sides of Ell Building replaced with white cedar shingles. Not painted

Shingles of Main Building replaced with 6" Yellow Alaskan Cedar Clapboards on all 4 sides. Not painted.



New windows installed on each floor (in-kind work)

Bulkhead replaced with new traditional metal version. Painted dark green or black. Repair interior stairs to basement.

NOTE:
• 100% OF EXISTING PARGE COAT TO BE REMOVED AND REPLACED ON EXTERIOR ONLY. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.

Add note that Town will remove electric service from building and put underground

② WEST ELEVATION
1/4" = 1'-0"

NOTE: Need to confirm trim, cornerboards, and window casing color

NOTE: Door, bulkhead, window sashes, storms and shutters will be dark green color



All 5 top windows should have grilles to match bottom windows

Portico in-kind work to include:
1) Existing stone/corner foundation not disturbed. Only reset and reuse.
2) Granite steps reset and reuse.
3) Rebuild masonry under deck as needed.
4) Replace decking with 1"x4" fir - trim has to be brought out so symmetrical.
5) Columns boxed at top - rebuild to mimic cornerboard detail.

1) New door. 42"x7", in-swing. 4 flat panels with moldings.
2) Install screen door

Plaque to be removed and not replaced

Shallow glass dome light to be installed to portico ceiling. Not to be visible. Remove any existing exterior lighting.

Install shutters on all windows on front and side elevations of main building. Green, fiberglass, black hardware

Triple track storms installed on all windows. Aluminum painted green

Change the shingles to clapboard siding.

Portico roof replaced with flat seam metal or copper roof

① FRONT ELEVATION
1/4" = 1'-0"

EXISTING PARGE COAT TO BE REMOVED AND REPLACED ON EXTERIOR ONLY. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.

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No. Date Revision

REVIEW

NEW WORK ELEVATIONS

SCALE 1/4" = 1'-0" STAMP

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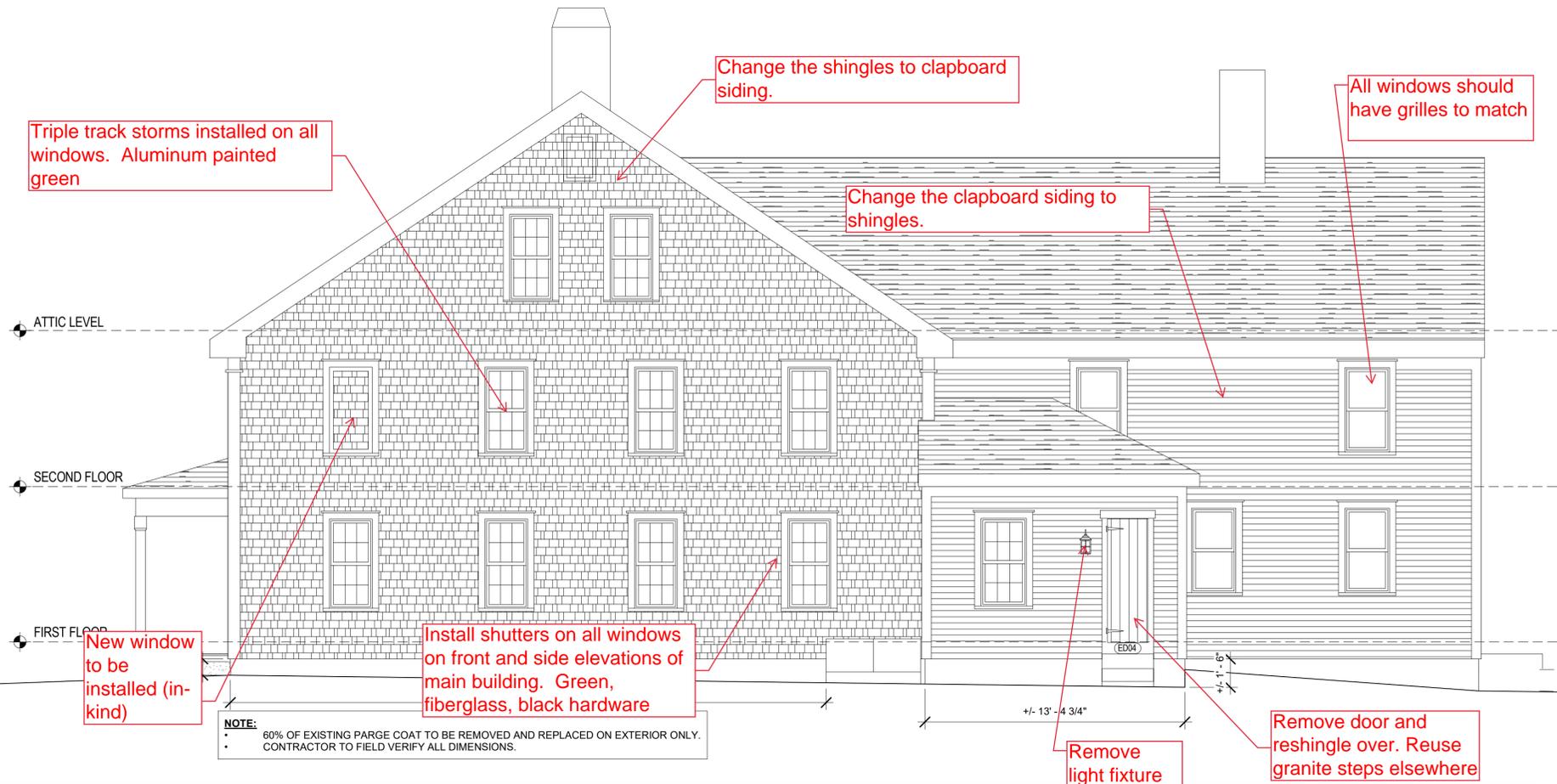
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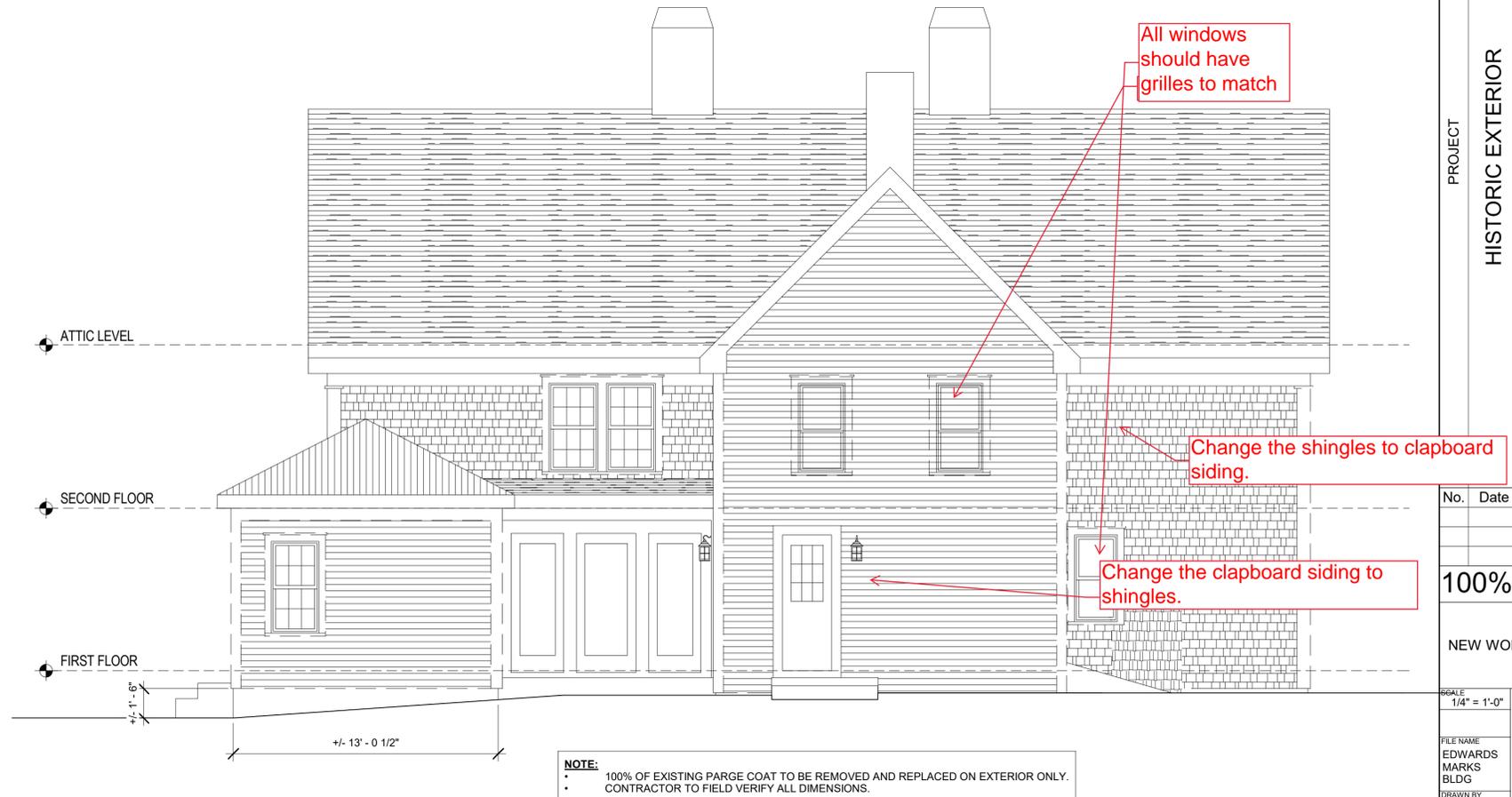
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② EAST ELEVATION
1/4" = 1'-0"



① REAR ELEVATION PARGE COAT
1/4" = 1'-0"

PROJECT
HISTORIC EXTERIOR
EDWARDS MARKS BUILDING
744 MAIN STREET, FALMOUTH,
MA, 02540

No. Date Revision

100% REVIEW

NEW WORK ELEVATIONS

SCALE 1/4" = 1'-0" STAMP

FILE NAME
EDWARDS MARKS BLDG

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JOB NO.
5005.20

DATE
03/31/2023

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PROJECT
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EDWARDS MARKS BUILDING
744 MAIN STREET, FALMOUTH,
MA, 02540

No. Date Revision

100% REVIEW

NEW WORK SECTIONS

SCALE
1" = 1'-0"

STAMP

FILE NAME
EDWARDS
MARKS
BLDG

DRAWN BY
DK

CHECKED BY
WG

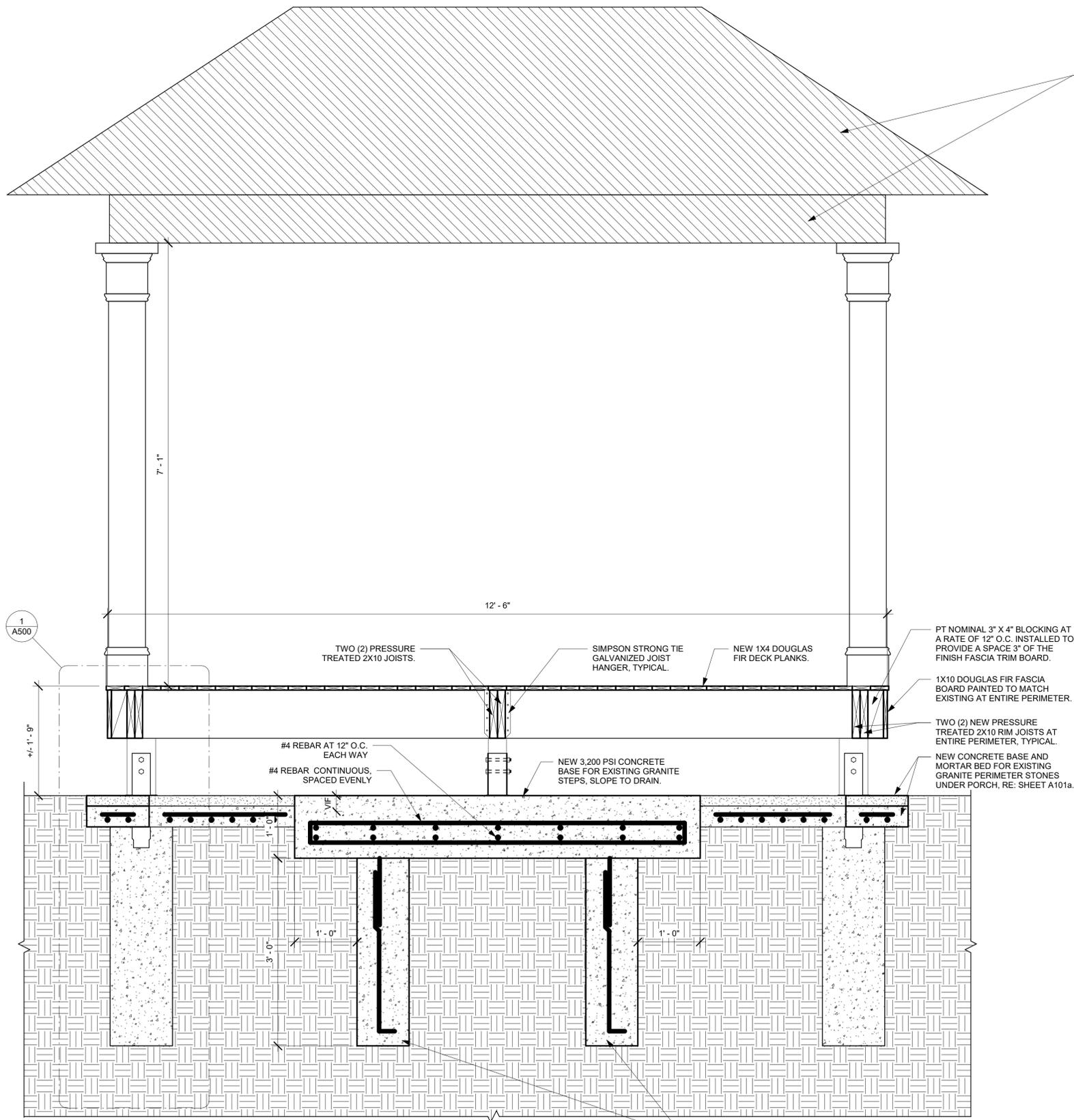
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DATE
03/31/2023

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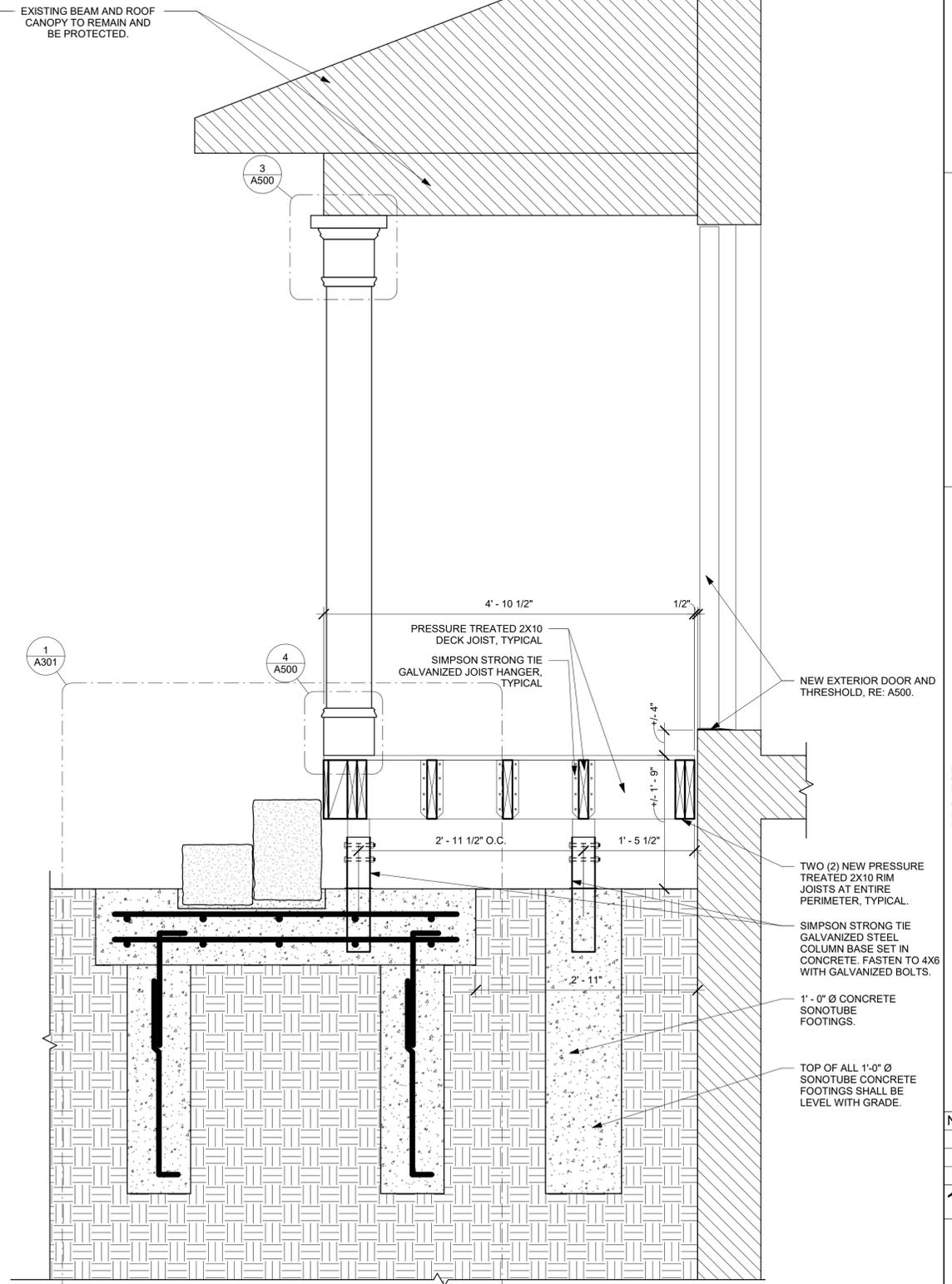
A300

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NOTE: ALL FASTENERS SHALL BE STAINLESS STEEL UNLESS OTHERWISE NOTED.

SECTION
1" = 1'-0"



NOTE: ALL FASTENERS SHALL BE STAINLESS STEEL UNLESS OTHERWISE NOTED.

SECTION
1" = 1'-0"

4/21/2023 10:41:02 AM



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PROJECT
HISTORIC EXTERIOR
EDWARDS MARKS BUILDING
744 MAIN STREET, FALMOUTH,
MA, 02540

No. Date Revision

100% REVIEW

NEW WORK SECTIONS

SCALE
1 1/2" = 1'-0"

FILE NAME
EDWARDS
MARKS
BLDG

DRAWN BY
DK

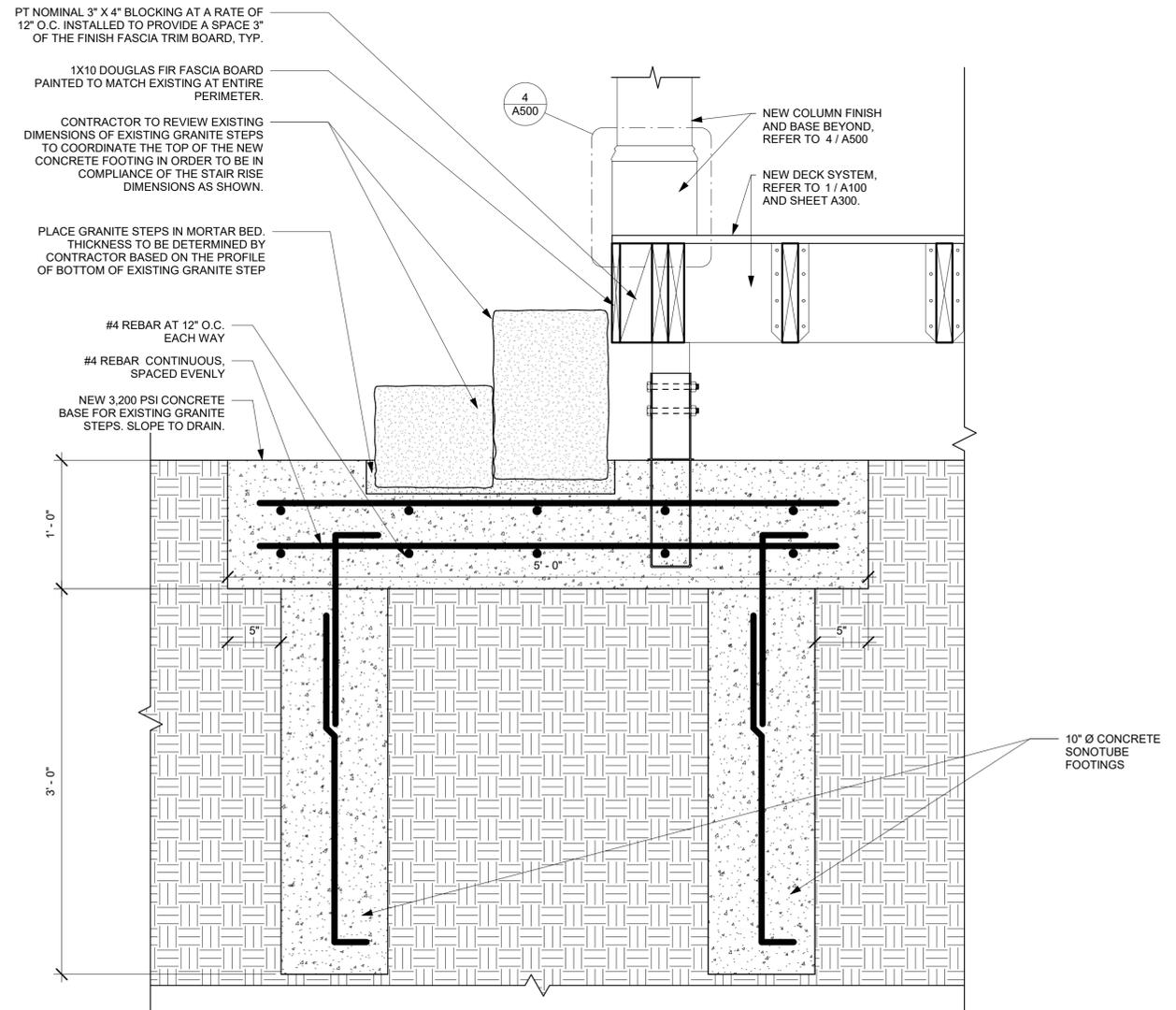
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DATE
03/31/2023

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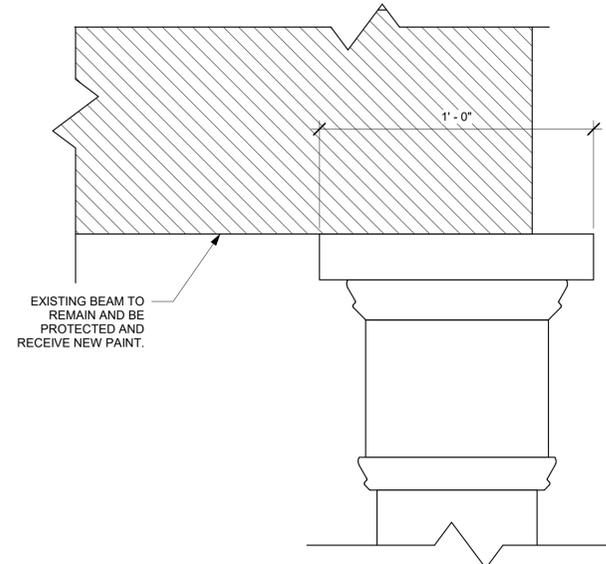
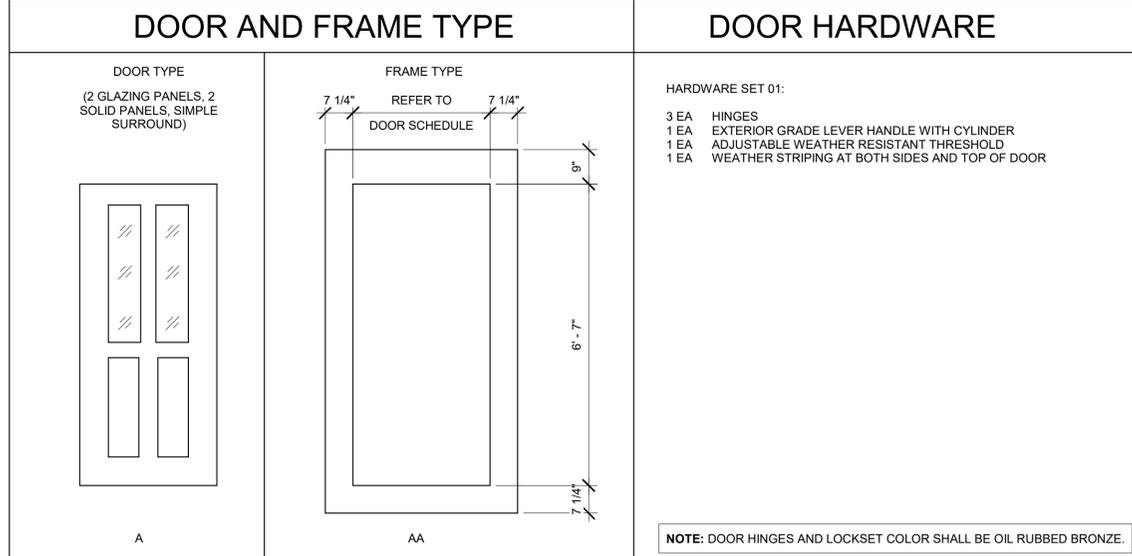


NOTE: ALL FASTENERS SHALL BE STAINLESS STEEL UNLESS OTHERWISE NOTED.

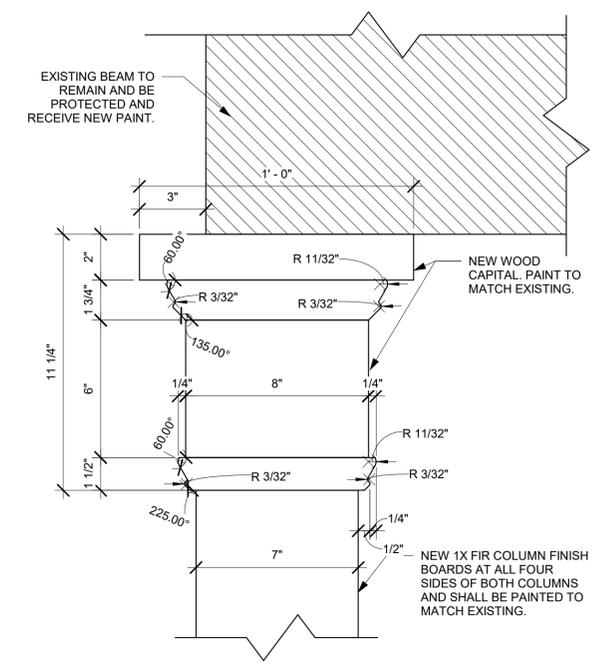
① CONCRETE FOUNDATION AT EXISTING STEPS
1 1/2" = 1'-0"

DOOR SCHEDULE

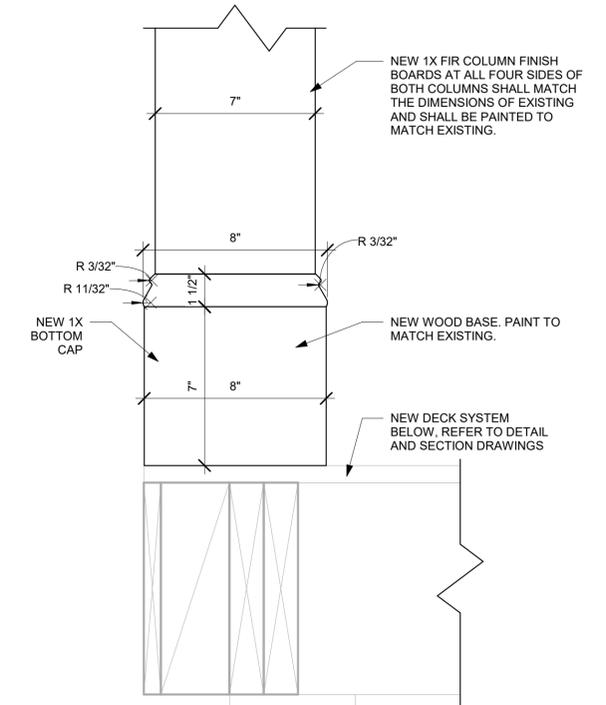
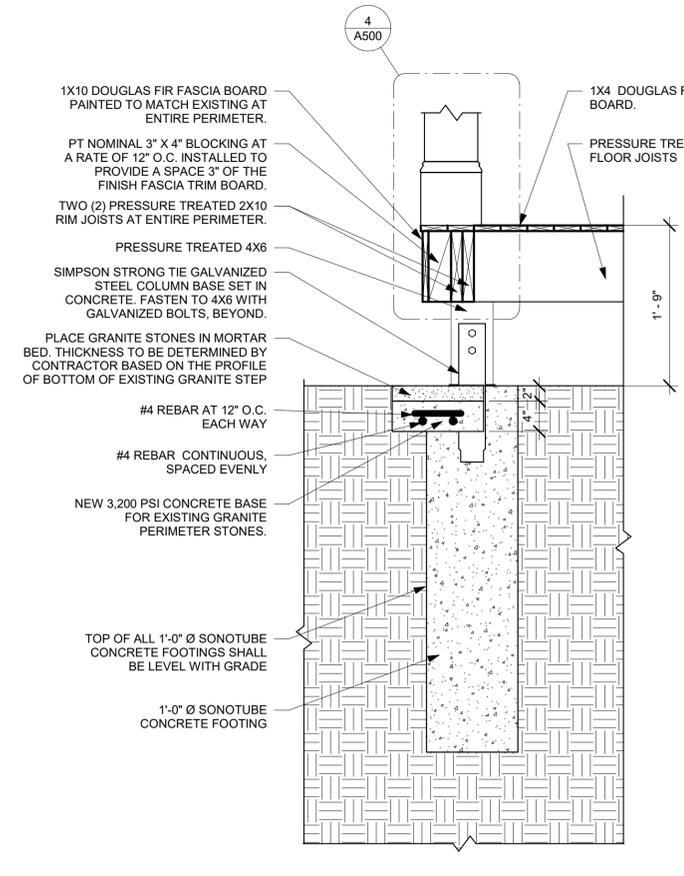
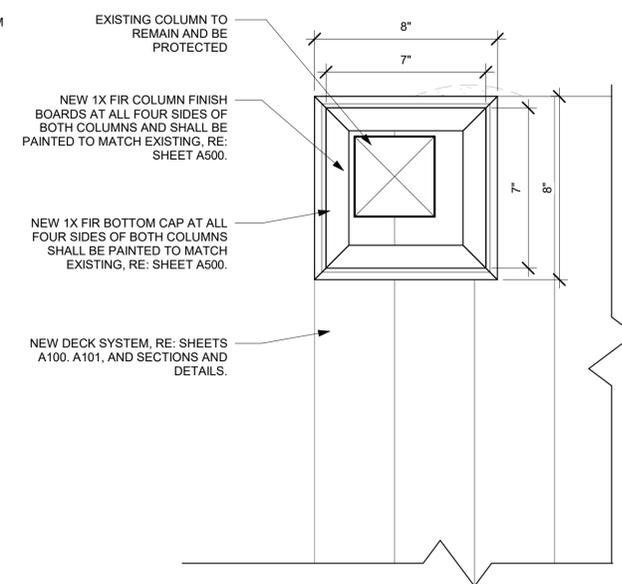
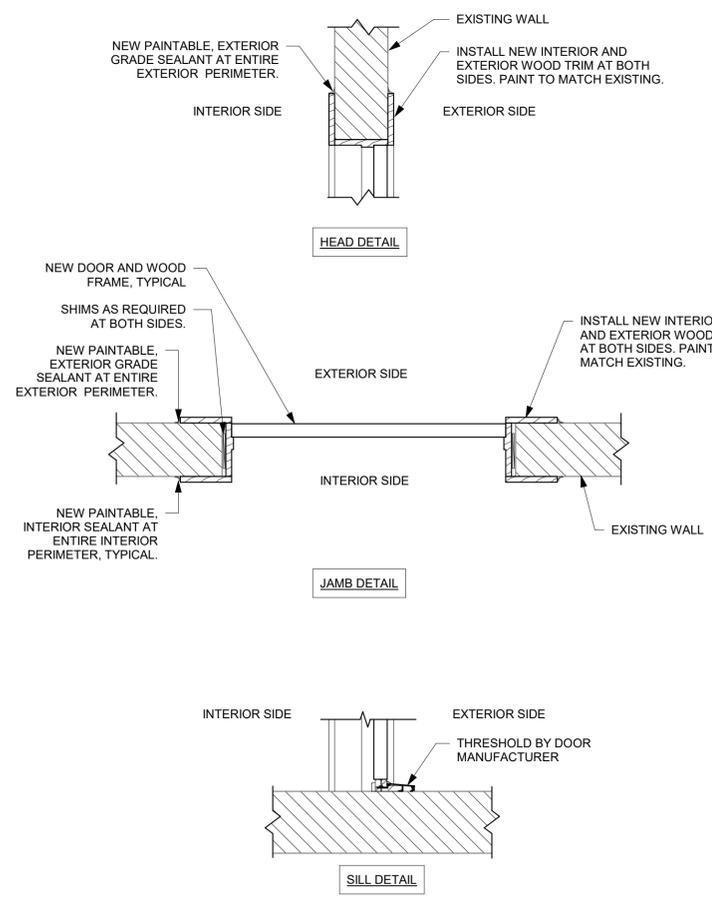
MARK	DOOR TYPE	WIDTH	HEIGHT	THICKNESS	SWING	DOOR MATERIAL	DOOR FINISH	COLOR	FRAME TYPE	FRAME MATERIAL	FRAME FINISH	FRAME COLOR	HARDWARE SET	GLAZING	COMMENTS
01	A	3'-0"	6'-7"	0'-1 3/4"	LHR	WOOD	PAINTED	TBD	AA	WOOD	PAINTED	TDB	01	YES	NEW DOOR PAINT COLOR SHALL MATCH EXISTING. GLAZING SHALL BE CLEAR TEMPERED, 5/8" INSULATED GLASS



6 COLUMN CAPITAL DETAIL
3" = 1'-0"



3 COLUMN CAPITAL DETAIL
3" = 1'-0"



PROJECT:

HISTORIC EXTERIOR EDWARDS MARKS BUILDING

744 MAIN STREET FALMOUTH, MA 02540

PROJECT NUMBER: MPPF #4316

PREPARED FOR:

TOWN OF FALMOUTH MA
HUMAN SERVICES DEPARTMENT

DATE AND TYPE OF SUBMISSION:

APRIL 18, 2024

PROGRESS SET FOR REVIEW



EDWARD MARKS BUILDING

ARCHITECTURAL DESIGN AND MANAGEMENT:



DHK
ARCHITECTS

DHK Architects, Inc.
54 Canal Street
Suite 200
Boston, MA 02114
tel: 617.267.6408
fax: 617.267.1990
www.dhkinc.com
Project Contact: Wayne Gething
wething@dhkinc.com

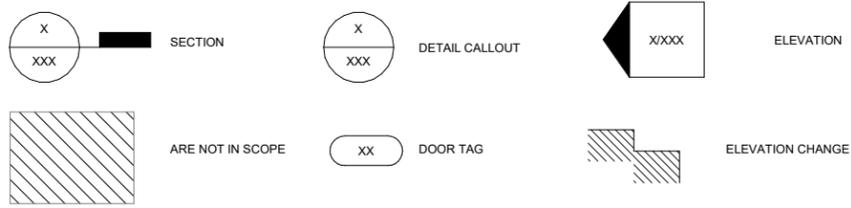
stamp:

Architect: Mickey Krockmalnic
mkrockmalnic@dhkinc.com

SHEET LIST

G000	COVER SHEET
G001	GENERAL NOTES AND SYMBOLS
D101	DEMO PLANS
D102	BASEMENT DEMOLITION PLANS
D200	DEMOLITION ELEVATIONS
D201	DEMOLITION ELEVATIONS
D202	DEMOLITION ELEVATIONS
A100	NEW WORK SITE PLAN
A101	NEW WORK PLANS
A102	NEW WORK BASEMENT FLOOR PLAN
A200	NEW WORK ELEVATIONS
A201	NEW WORK ELEVATIONS
A202	NEW WORK ELEVATIONS
A300	NEW WORK SECTIONS
A500	DOOR SCHEDULE
A600	NEW WORK DETAILS

SYMBOLS



PROJECT DESCRIPTION

THE EDWARD MARKS BUILDING EXISTING WOOD FRONT STOOP SHALL BE DEMOLISHED AND RECONSTRUCTED USING NEW BUILDING MATERIALS. THE DIMENSIONS OF THE NEW STOOP SHALL MATCH THE DIMENSIONS OF THE EXISTING STOOP. ALSO INCLUDED IN THIS SCOPE WILL BE THE REMOVAL OF THE EXISTING HISTORICAL GRANITE STEPS AND THE SUPPORTING GRANITE STONES AT THE PERIMETER OF THE STOOP. WHICH WILL BE RESET ON NEW REINFORCED CONCRETE BASES. IN ADDITION TO THE FRONT STOOP, THE EXISTING FRONT DOOR AND WOOD FINISH TRIM SHALL BE REMOVED AND REPLACED WITH A NEW DOOR AND NEW WOOD FINISH TRIM. AT THE SOUTHWEST SIDE OF THE BUILDING, THE EXISTING METAL BULKHEAD DOOR, EXISTING METAL BULKHEAD DOOR EXTENSION, AND THE EXISTING WOODEN STAIRS SHALL BE REMOVED AND REPLACED WITH A NEW BULKHEAD DOOR AND EXTENSION AND NEW STAIRS SHALL BE CONSTRUCTED. AT THE EXTERIOR FOUNDATION WALLS, 100% OR THE PARGE COAT SHALL BE REMOVED AND REPLACED AS INDICATED.

GENERAL NOTES

1. THE EDWARD MARKS BUILDING IS IN THE STATE REGISTER OF HISTORIC PLACES THEREFORE ALL PROPOSED WORK TO THE BUILDING MUST COMPLY WITH THE PRESERVATION RESTRICTION AGREEMENT BETWEEN THE MASSACHUSETTS HISTORIC COMMISSION AND THE TOWN OF FALMOUTH. A COPY OF THE DEED RESTRICTION IS IN THE PROJECT SPEC BOOK.
2. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES, REGULATIONS, AND RESTRICTIONS WHICH APPLY TO THIS PROJECT.
3. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. THE GENERAL CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER ALL DISCREPANCIES HAVE BEEN RESOLVED BY THE ARCHITECT.
4. WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE DRAWINGS.
5. BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED BY NEW WORK, DEMOLITION OR WHICH MAY BE DAMAGED BY THE GENERAL CONTRACTOR OR ANY SUBCONTRACTORS SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR BY METHODS DESCRIBED IN THIS CONTRACT, OR AS APPROVED BY THE ARCHITECT.
6. CONSULT WITH THE ARCHITECT BEFORE PENETRATING ALL JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS.
7. THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ANY BUILDING PERMITS REQUIRED AND CARRY ANY INSURANCE COVERAGES REQUIRED.
8. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS, CONTRACT DOCUMENTS AND OTHER DOCUMENTS APPROVED BY THE ARCHITECT AND ANY/ALL AUTHORITIES.
9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PANEL CONTROL AND CIRCUIT DESIGN AND FOR COMPLIANCE WITH ALL BUILDING, LIFE SAFETY, AND NATIONAL ELECTRICAL CODES WHICH MAY APPLY.
10. ALL WOOD COMPONENTS (INCLUDING BUT NOT LIMITED TO FRAMING MILLWORK, TRIM, AND BLOCKING) SHALL BE FIRE-TREATED.
11. THE GENERAL CONTRACTOR SHALL DISPOSE OF ALL WASTE AND DEBRIS OFF THE PREMISES. DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS. DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS.
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE WORK OF ALL TRADES. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY AND ALL CONFLICTS BETWEEN THE TRADES AND SHALL OBTAIN A WRITTEN RESOLUTION FROM THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION IN ALL AREAS AFFECTED BY THE CONFLICT.
13. PROVIDE ALL TEMPORARY FACILITIES AND SERVICES, CONSTRUCTION AND SUPPORT FACILITIES, AND SECURITY AND PROTECTION AS NEEDED TO PROTECT NEW AND EXISTING CONSTRUCTION FOR THE DURATION OF A COMPLETE INSTALLATION.
14. PROVIDE UTILITY INSTALLATIONS FROM LOT LINE TO BUILDINGS TO COMPLY WITH ALL LOCAL CODES AND REQUIREMENTS.
15. SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS/RODENTS.
16. ALL EXPOSED UTILITY WIRES AND PIPES (ELECTRICAL, PLUMBING, ETC.) SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS, AND CEILING AREAS. THEY SHALL BE INSTALLED A MINIMUM OF 6" OFF FLOORS AND 1" OFF WALLS, CEILINGS AND ADJACENT PIPES.
17. ALL MATERIALS & EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
18. GUARANTEE: ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS OTHERWISE SPECIFIED FOR A LONGER PERIOD OF TIME ON A CERTAIN ITEM.
19. ALL VOIDS CREATED OR SURFACES DISTURBED RESULTING FROM CUTTING, REMOVAL OR INSTALLATION OF ELEMENTS AS PART OF THE WORK SHALL BE FILLED AND FINISHED TO MATCH ADJOINING CONSTRUCTION.
20. PROVIDE ADEQUATE BLOCKING, BRACING, NAILERS, FASTENINGS AND OTHER SUPPORTS SHALL BE A TYPE NOT SUBJECT TO DETERIORATION OR WEAKENING AS THE RESULT OF ENVIRONMENTAL CONDITIONS OR AGING.
21. SEE SPECIFICATIONS AND HAZARDOUS MATERIAL REPORT FOR HAZARDOUS MATERIAL MITIGATION REQUIRED IN THE BUILDING.



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ARCHITECTS

DHK Architects, Inc.
54 Canal Street
Suite 200
Boston, MA 02114
617.267.6408

PROJECT

HISTORIC EXTERIOR
EDWARDS MARKS BUILDING
744 MAIN STREET, FALMOUTH,
MA, 02540

No.	Date	Revision

BID DOCUMENTS

GENERAL NOTES AND SYMBOLS

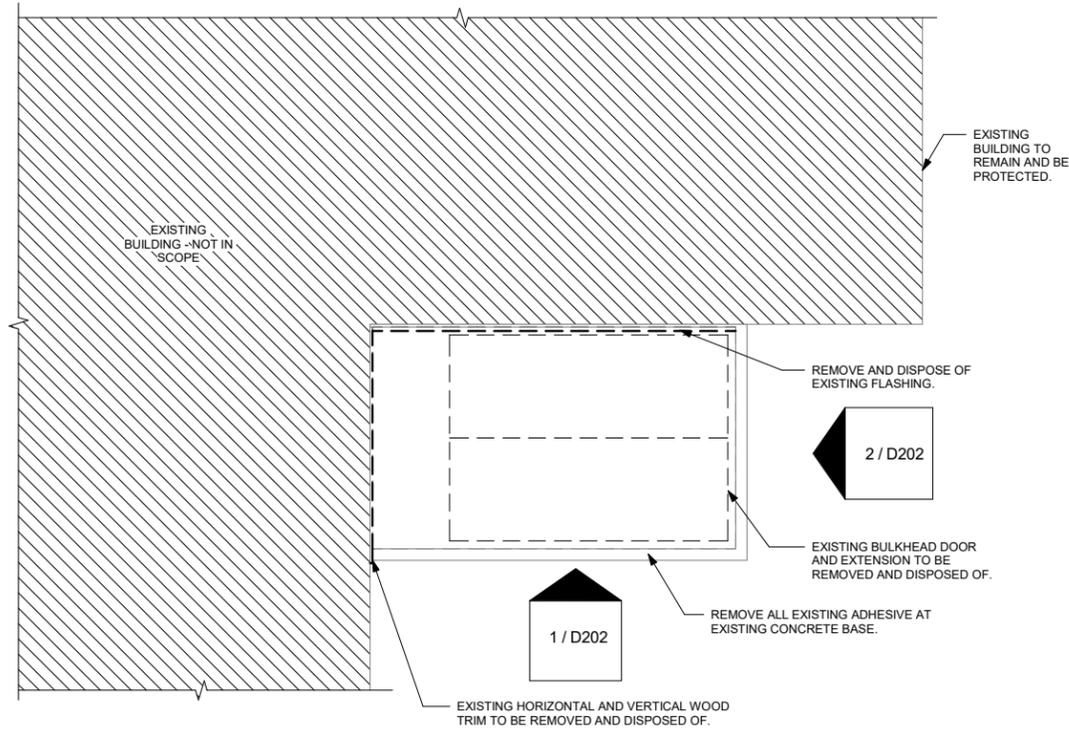
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JOB NO. 5005.20 DATE 04/18/2024	



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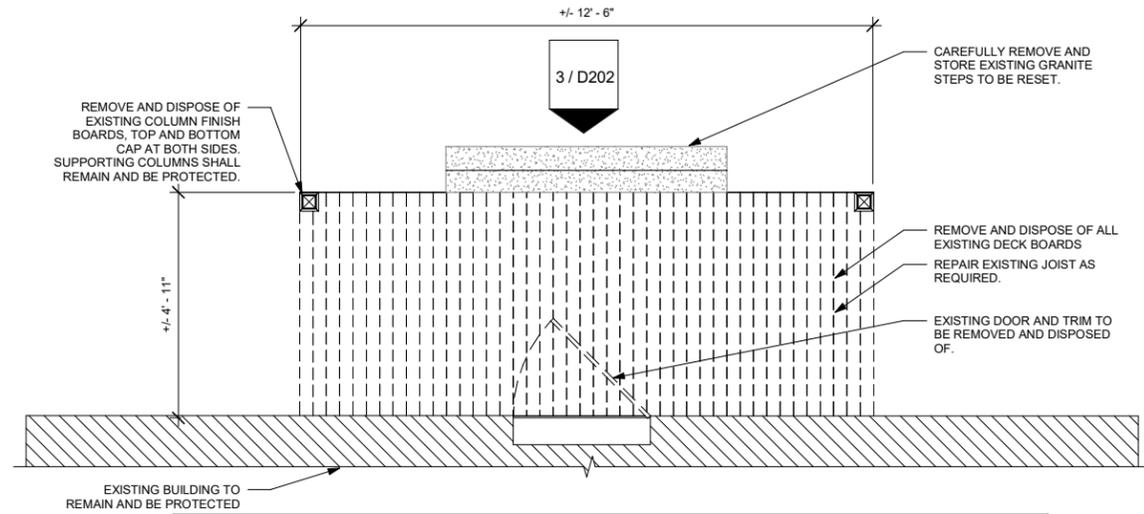
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NOTE: CONTRACTOR TO VERIFY EXISTING BULKHEAD DIMENSIONS PRIOR TO REMOVAL AND DISPOSAL OF DOOR.

3 DEMOLITION BULKHEAD DOOR
1/2" = 1'-0"



NOTE:
• CONTRACTOR SHALL ACCURATELY RECORD ALL DIMENSIONS OF WOOD TRIM TO BE REPLACED PRIOR TO REMOVAL AND DEMOLITION.
• CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS

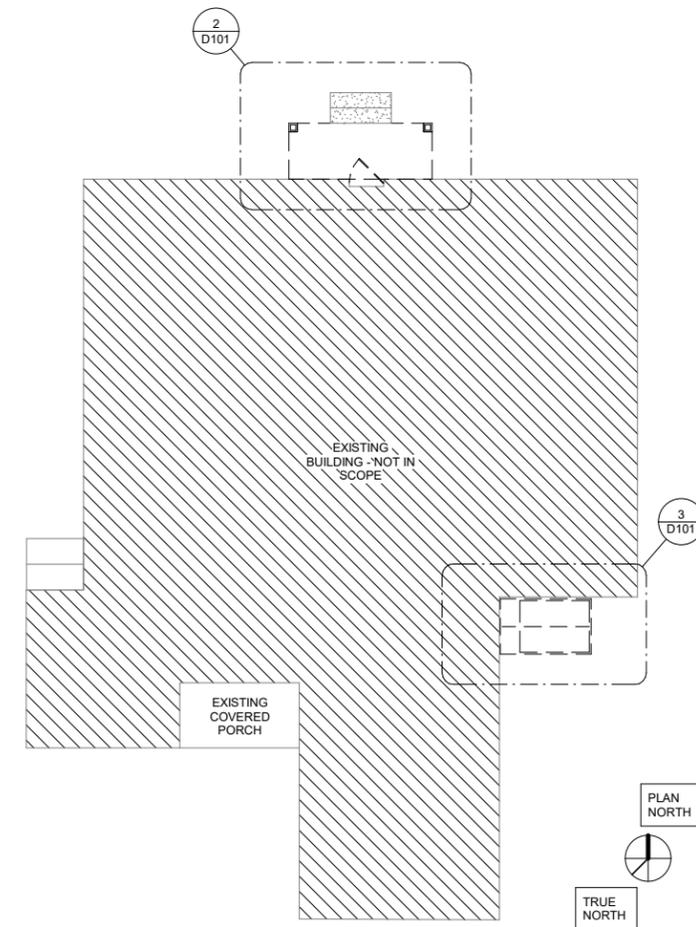
2 DEMOLITION DECK PLAN
1/2" = 1'-0"



EXISTING BULKHEAD TO BE REMOVED AND DISPOSED OF



EXISTING WOOD PORCH, ENTRY DOOR, AND WOOD TRIM TO BE REMOVED AND DISPOSED OF



1 OVERALL PLAN - DEMOLITION
1/8" = 1'-0"

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DEMO PLANS

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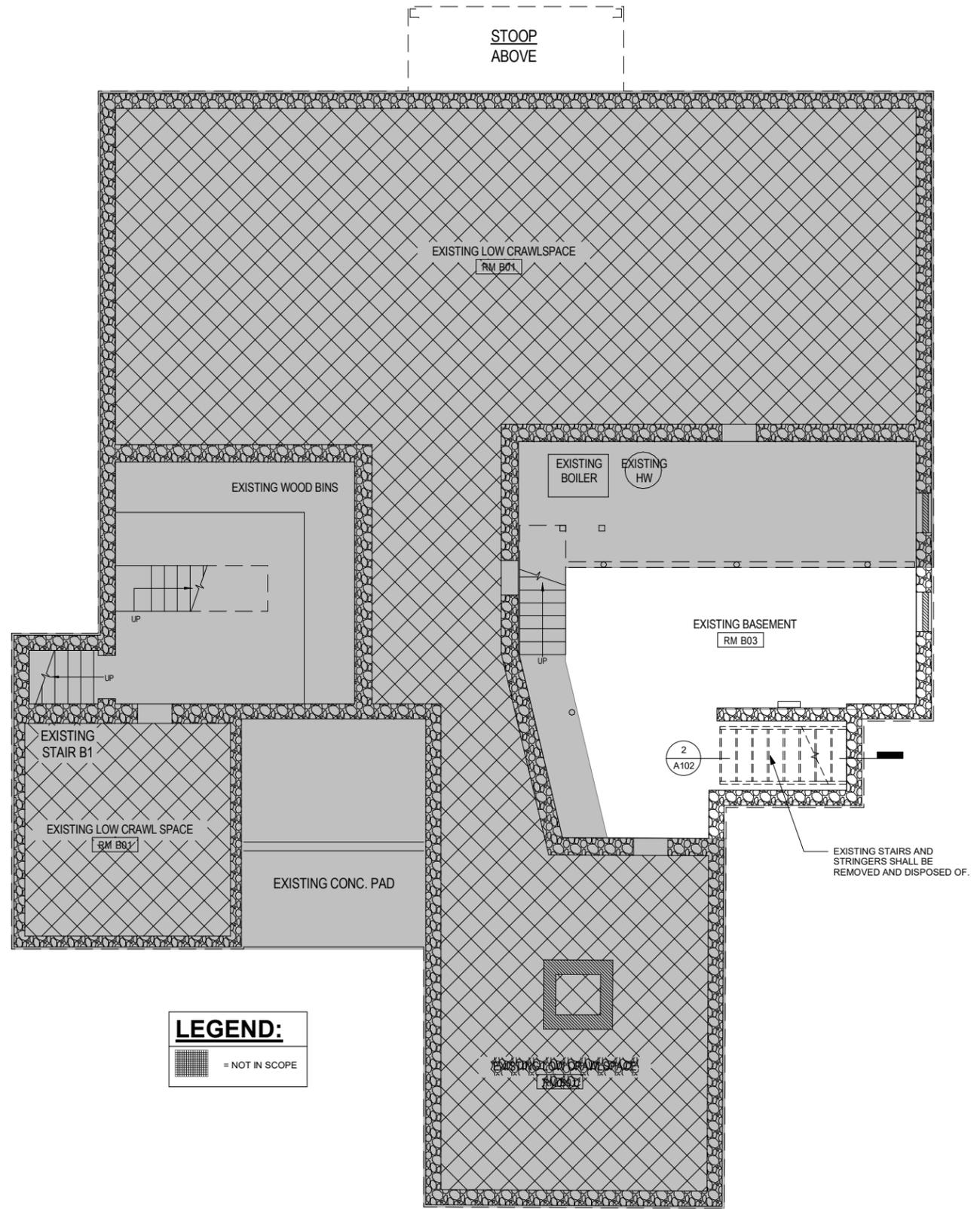
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EXISTING BASEMENT STAIRS TO BE REMOVED AND DISPOSED OF



LEGEND:
[Cross-hatched pattern] = NOT IN SCOPE

① BASEMENT LEVEL DEMOLITION
1/4" = 1'-0"

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BASEMENT DEMOLITION PLANS

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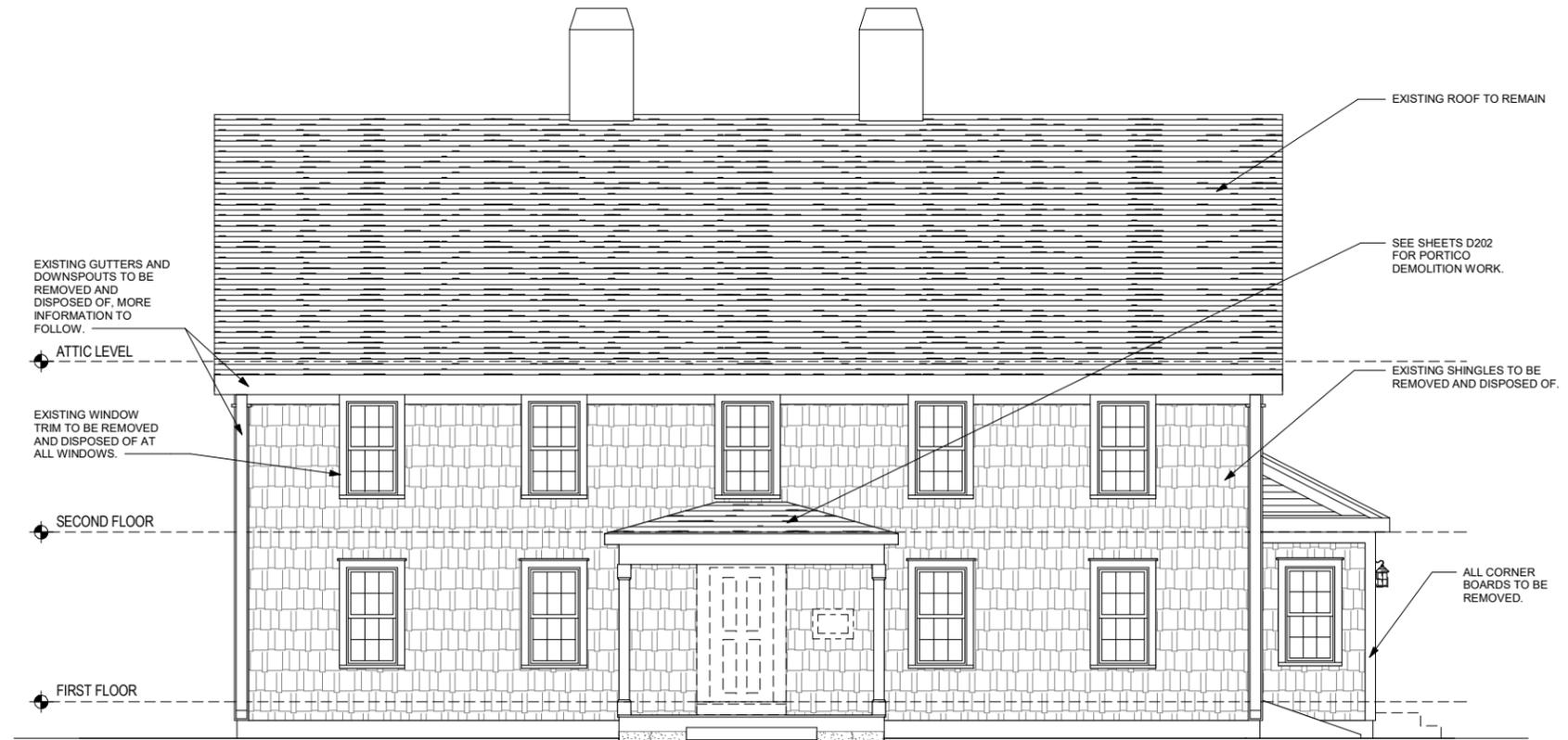
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EXISTING GRADING LOCATED AS NOTED SHALL BE RECONFIGURED IN ORDER TO REDIRECT RAIN WATER AWAY FROM THE BUILDING AND DIRECT IT TOWARDS THE ROADWAY.



① WEST ELEVATION - DEMOLITION
1/4" = 1'-0"



② FRONT ELEVATION - DEMOLITION
1/4" = 1'-0"

NOTE:
• 100% OF EXISTING PARGE COAT TO BE REMOVED AND REPLACED ON EXTERIOR ONLY.
• CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.

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EDWARDS MARKS BUILDING
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DEMOLITION ELEVATIONS

SCALE 1/4" = 1'-0"

FILE NAME

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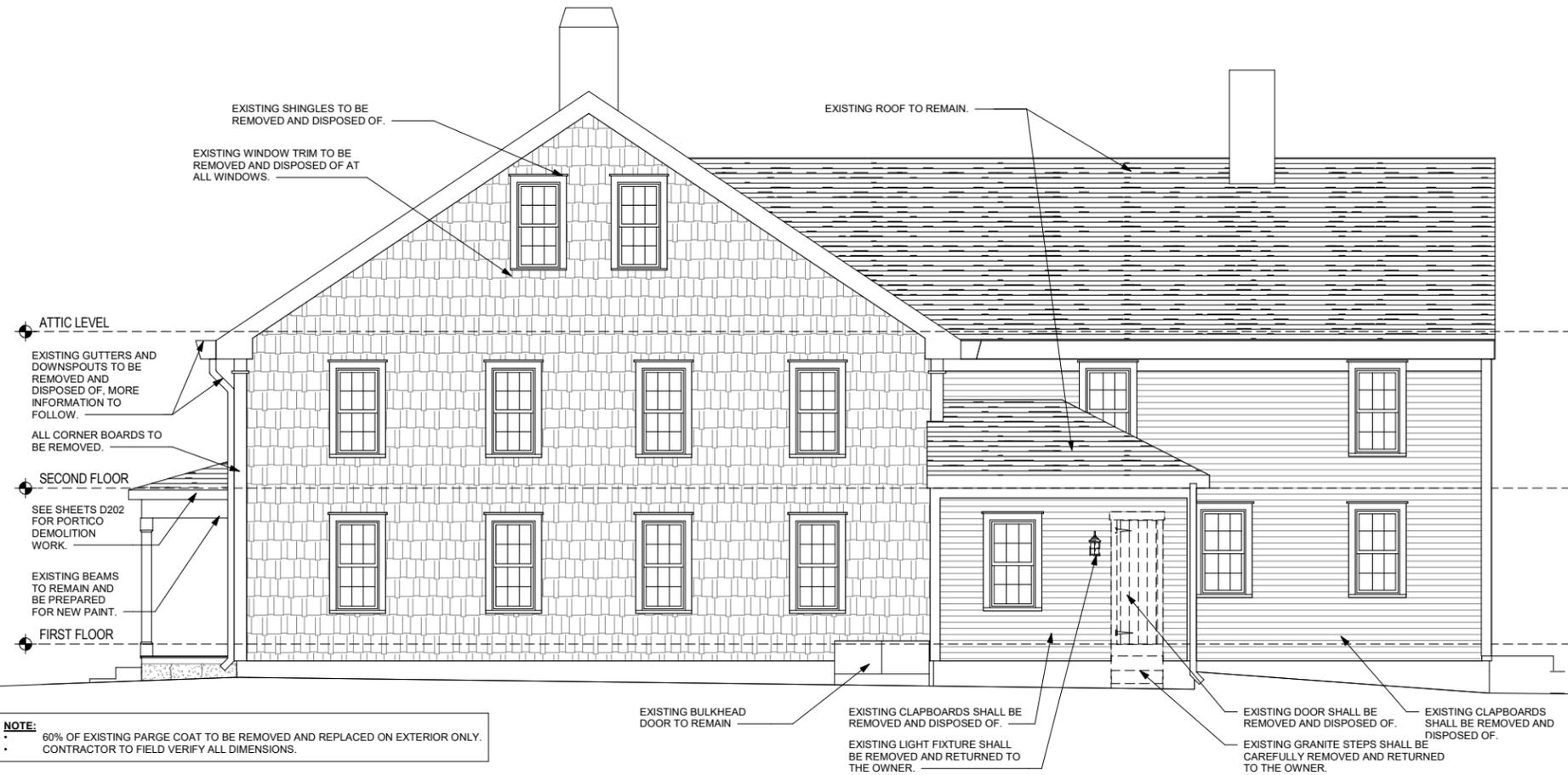
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NOTE:
• 60% OF EXISTING PARGE COAT TO BE REMOVED AND REPLACED ON EXTERIOR ONLY.
• CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.

① EAST ELEVATION - DEMOLITION
1/4" = 1'-0"



NOTE:
• 100% OF EXISTING PARGE COAT TO BE REMOVED AND REPLACED ON EXTERIOR ONLY.
• CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.

② REAR ELEVATION - NEW WORK
1/4" = 1'-0"

PROJECT
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EDWARDS MARKS BUILDING
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DEMOLITION ELEVATIONS

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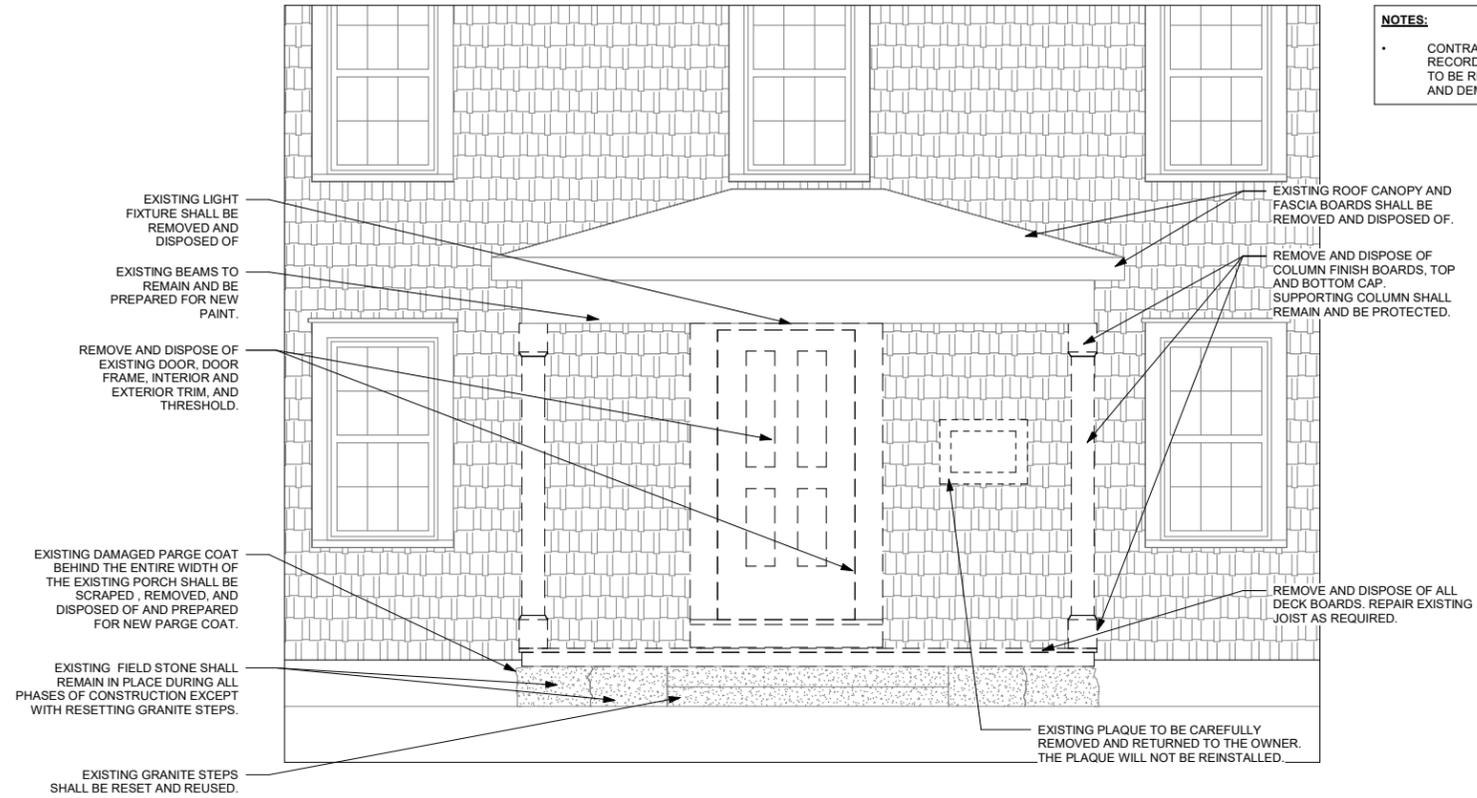
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EXISTING WOOD PORCH, ENTRY DOOR AND WOOD TRIM TO BE REMOVED AND DISPOSED OF

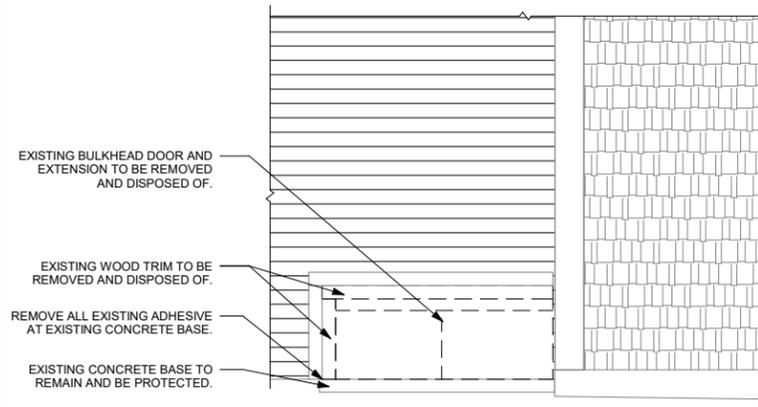


NOTES:
• CONTRACTOR SHALL ACCURATELY RECORD ALL DIMENSIONS OF WOOD TRIM TO BE REPLACED PRIOR TO REMOVAL AND DEMOLITION.

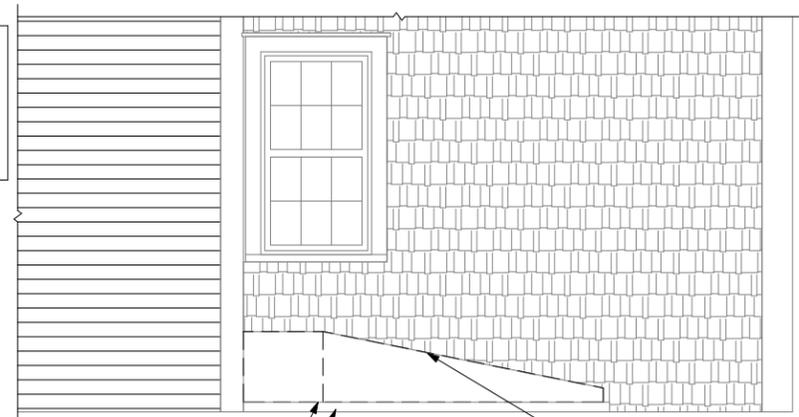
③ DEMOLITION ELEVATION
1/2" = 1'-0"



EXISTING BULKHEAD TO BE REMOVED AND DISPOSED OF



NOTES:
• CONTRACTOR SHALL REPORT TO ARCHITECT IF REPAIRS TO CONCRETE BASE SHALL BE REQUIRED TO PERFORM THIS WORK.
• CONTRACTOR TO VERIFY EXISTING BULKHEAD DIMENSIONS PRIOR TO REMOVAL AND DISPOSAL OF DOOR.



NOTE: CONTRACTOR TO VERIFY EXISTING BULKHEAD DIMENSIONS PRIOR TO REMOVAL AND DISPOSAL OF DOOR.

② BULKHEAD DOOR DEMOLITION ELEVATION SIDE
1/2" = 1'-0"

① BULKHEAD DOOR DEMOLITION ELEVATION
1/2" = 1'-0"

PROJECT
HISTORIC EXTERIOR
EDWARDS MARKS BUILDING
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DEMOLITION ELEVATIONS

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SCRANTON AVE

MAIN ST

1/A101

CEMETERY

EXISTING PARKING
ACCESS ROADWAY

EXISTING PARKING
ACCESS ROADWAY

EXISTING
PARKING LOT

EXISTING
PARKING LOT

EXISTING GRADING LOCATED AS NOTED
SHALL BE RECONFIGURED IN ORDER TO
REDIRECT RAIN WATER AWAY FROM THE
BUILDING AND DIRECT IT TOWARDS THE
ROADWAY.

RAIN
RUNOFF

RAIN
RUNOFF

RAIN
RUNOFF

RAIN
RUNOFF

KEYED NOTES

- ① NEW 7'-0" HIGH HISTORICALLY APPROPRIATE WOOD MECHANICAL SCREEN WITH LOCKABLE ACCESS GATE AT REAR. FINISH TO BE DETERMINED. OVERALL LENGTH OF FENCE SHALL SECURELY ENCLOSE THE HVAC EQUIPMENT AND PROVIDE ENOUGH CLEAR SPACE FOR MAINTENANCE AND REPAIRS/REPLACEMENT OF EQUIPMENT. EXACT DIMENSIONS TO BE CONFIRMED IN THE FIELD.
- ② NEW BULKHEAD DOOR

PROJECT

HISTORIC EXTERIOR

EDWARDS MARKS BUILDING

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NEW WORK SITE PLAN

SCALE
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DRAWN BY

DHK

CHECKED BY

WVG

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PLAN
NORTH



N

① SITE PLAN
1/8" = 1'-0"

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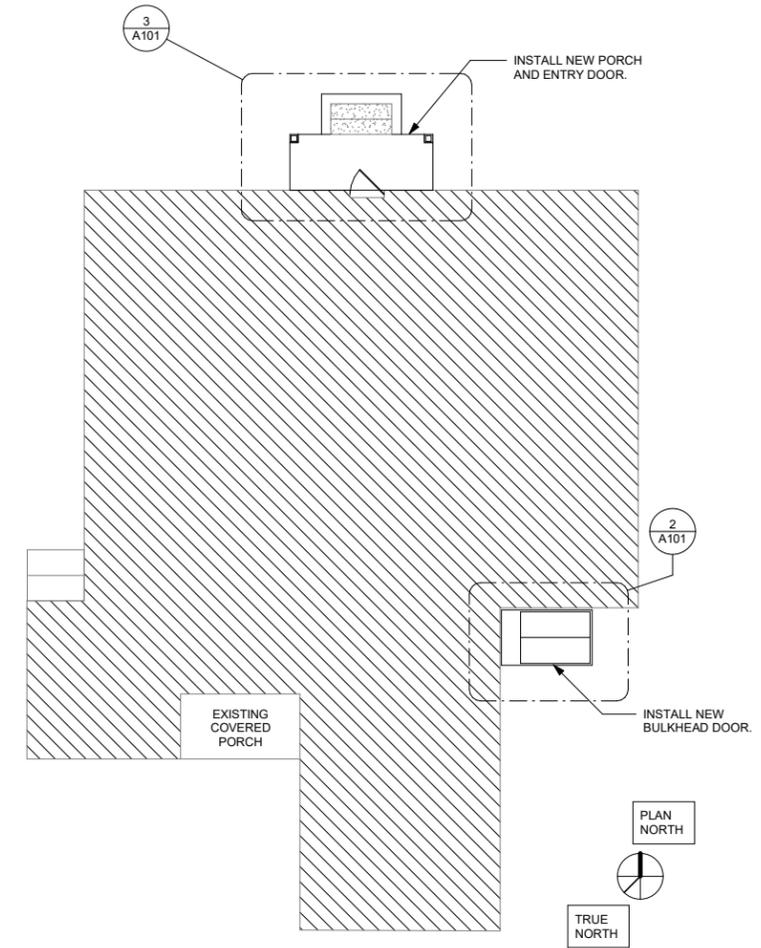
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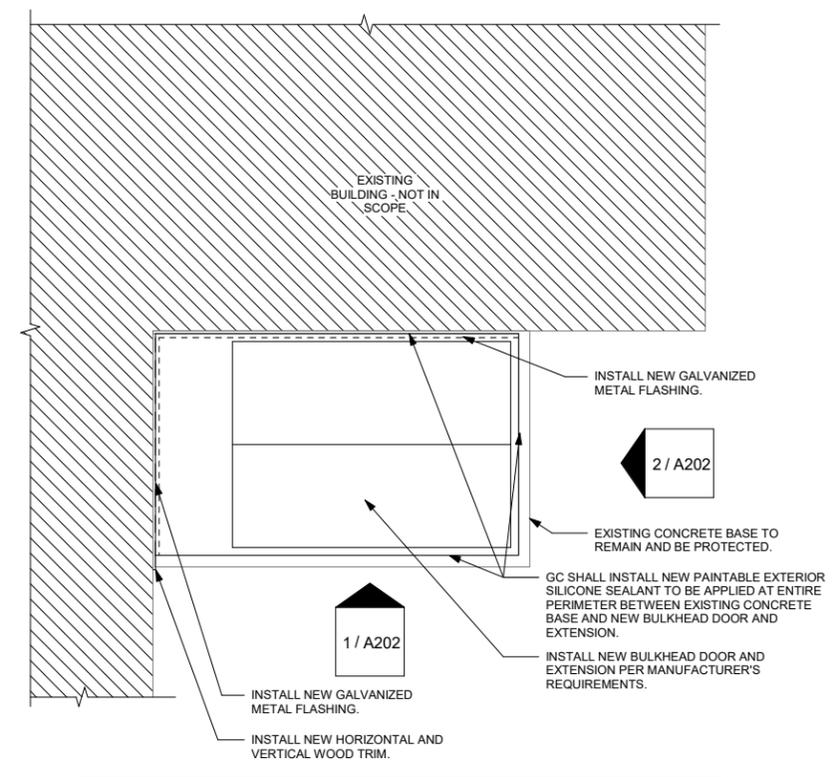
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NEW WORK PLANS

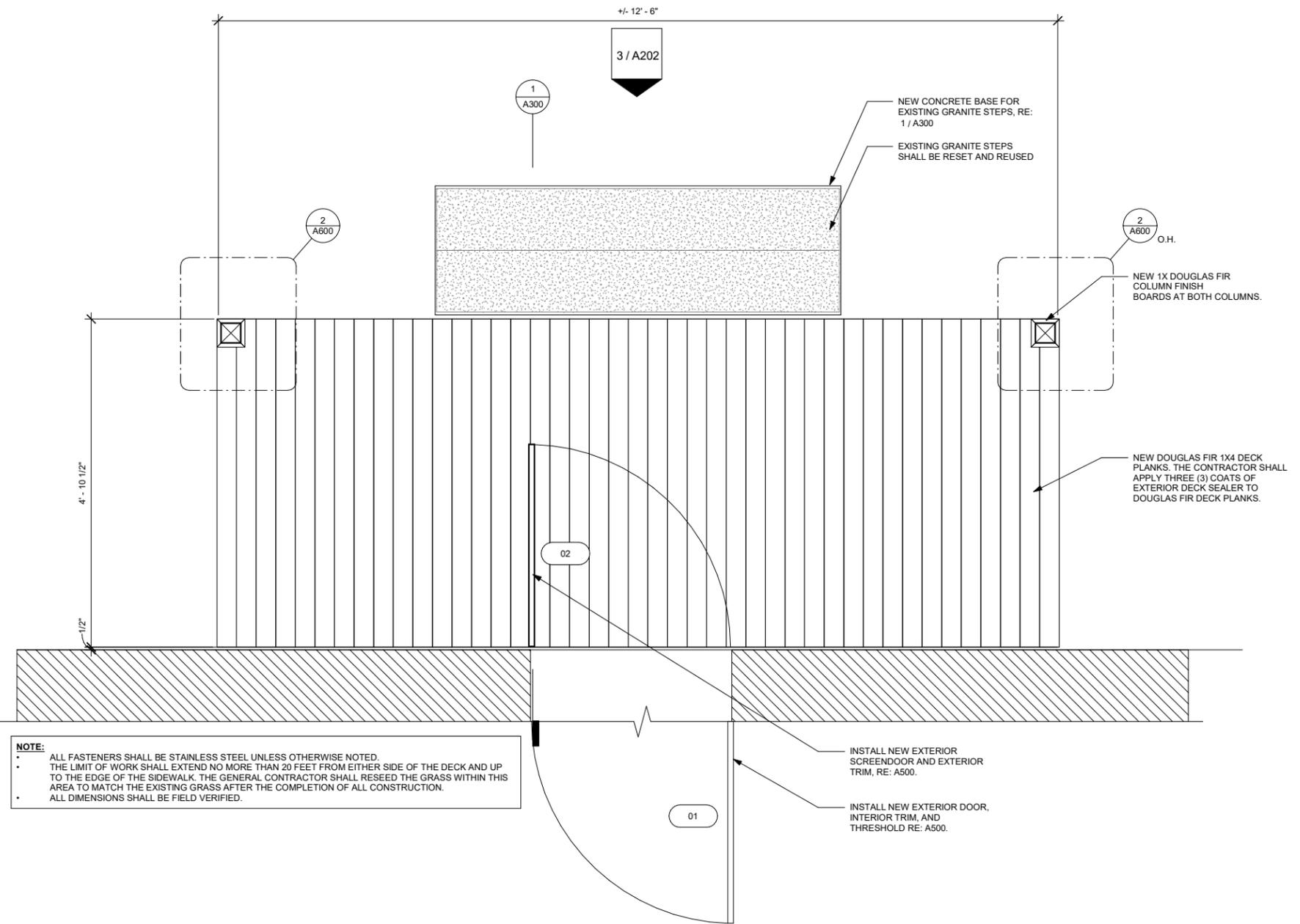
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① OVERALL PLAN - NEW WORK
1/8" = 1'-0"



② NEW WORK BULKHEAD DOOR
1/2" = 1'-0"



③ NEW WORK DECK PLAN
1" = 1'-0"

NOTE:
 • ALL FASTENERS SHALL BE STAINLESS STEEL UNLESS OTHERWISE NOTED.
 • THE LIMIT OF WORK SHALL EXTEND NO MORE THAN 20 FEET FROM EITHER SIDE OF THE DECK AND UP TO THE EDGE OF THE SIDEWALK. THE GENERAL CONTRACTOR SHALL RESEED THE GRASS WITHIN THIS AREA TO MATCH THE EXISTING GRASS AFTER THE COMPLETION OF ALL CONSTRUCTION.
 • ALL DIMENSIONS SHALL BE FIELD VERIFIED.

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DHK
ARCHITECTS

DHK Architects, Inc.
54 Canal Street
Suite 200
Boston, MA 02114
617.267.6408

PROJECT
HISTORIC EXTERIOR
EDWARDS MARKS BUILDING
744 MAIN STREET, FALMOUTH,
MA, 02540

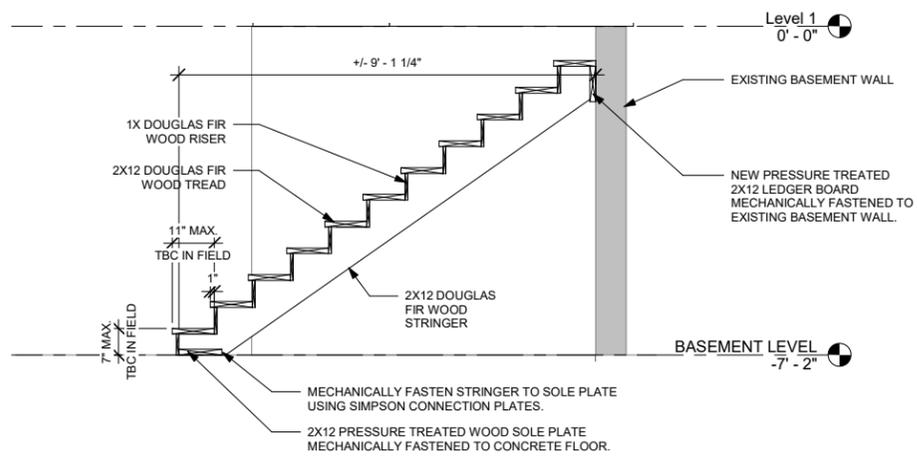
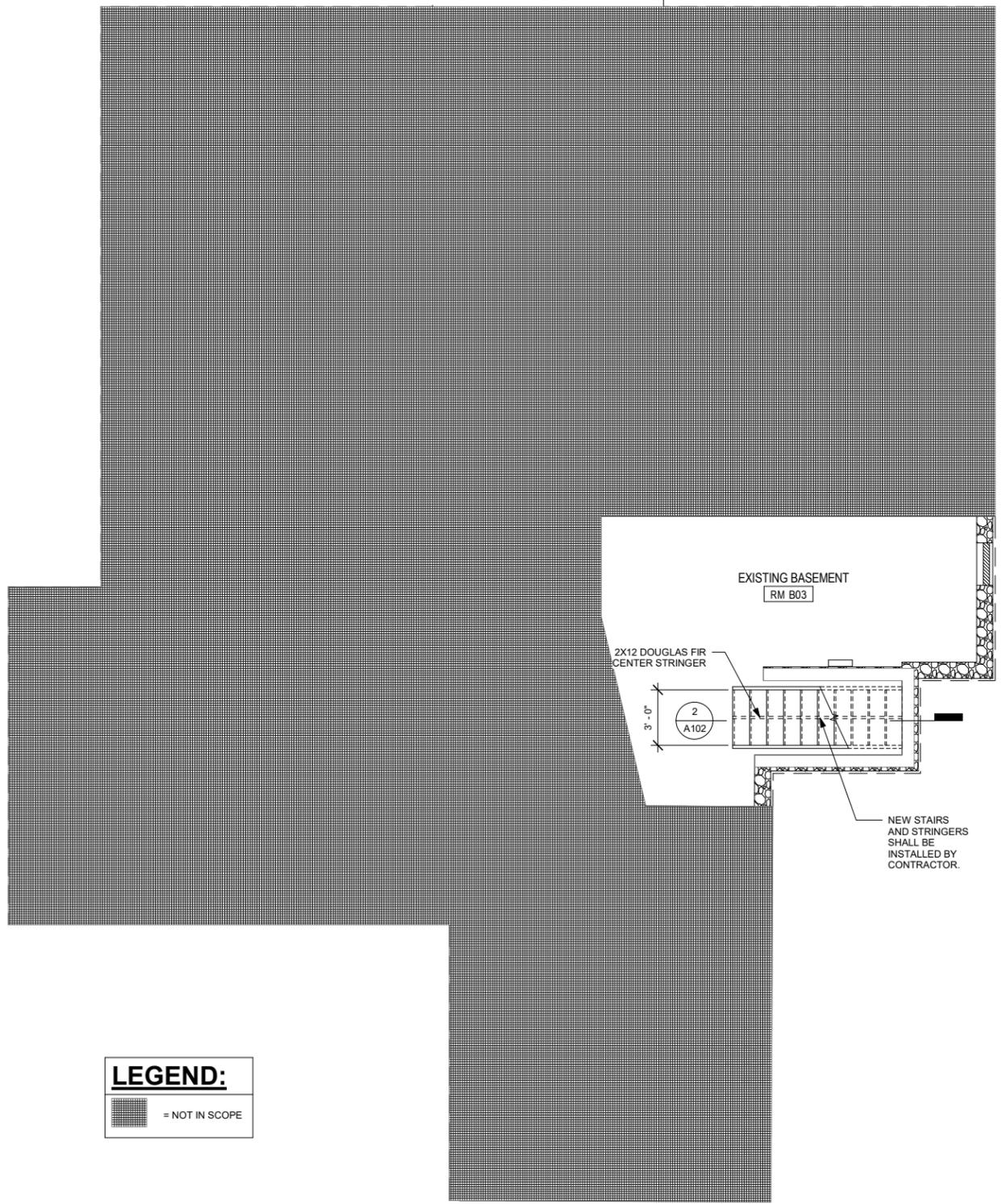
No.	Date	Revision

BID DOCUMENTS

NEW WORK BASEMENT FLOOR PLAN

SCALE As indicated	STAMP
FILE NAME EDWARDS MARKS BLDG	
DRAWN BY DHK	
CHECKED BY WVG	
JOB NO. 5005.20 DATE 04/18/2024	
DRAWING NO. A102	

STOOP
ABOVE



② NEW BASEMENT STAIR SECTION
1/2" = 1'-0"

NOTE:
ALL DIMENSIONS SHALL BE FIELD VERIFIED.

LEGEND:
[Hatched Box] = NOT IN SCOPE

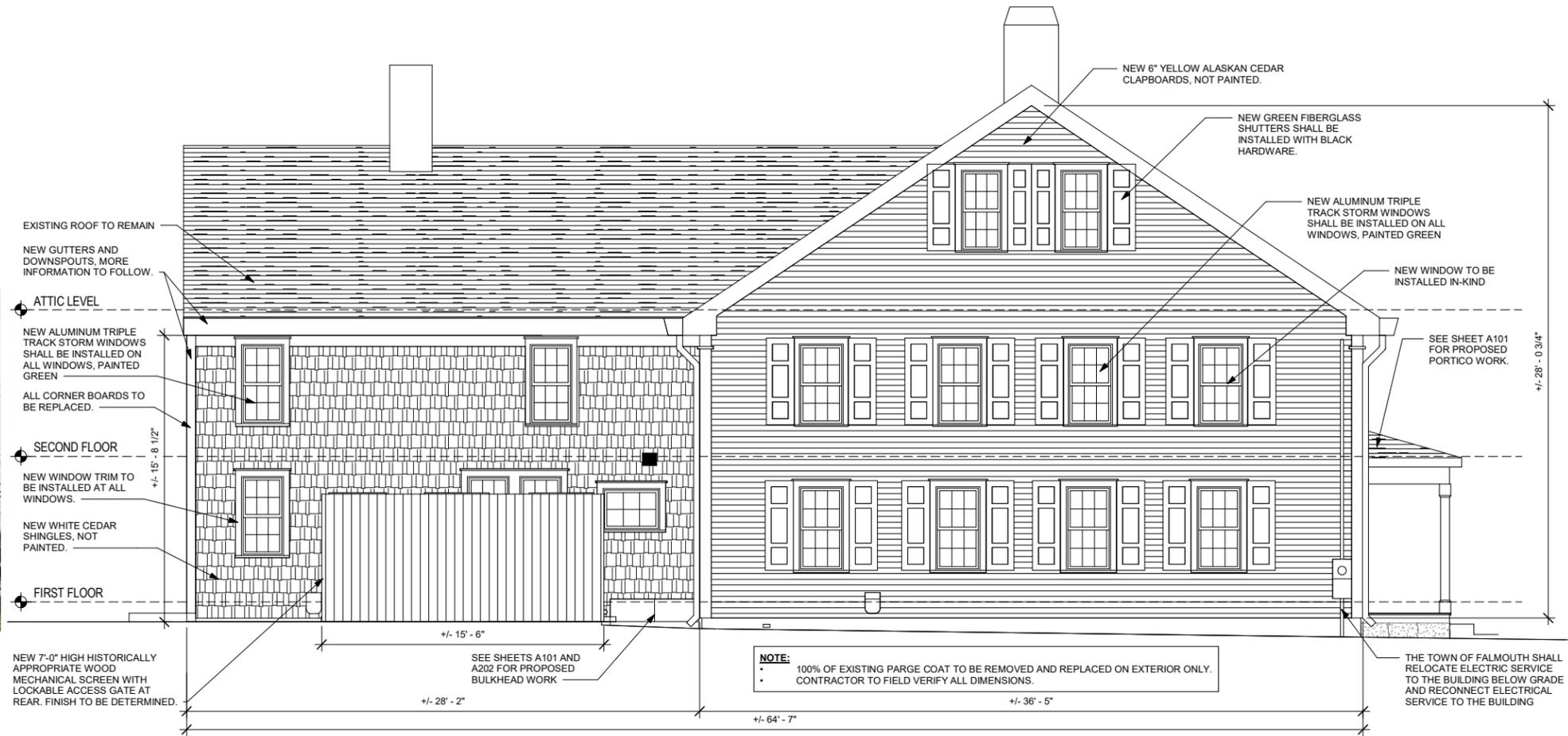
① BASEMENT LEVEL NEW WORK
1/4" = 1'-0"



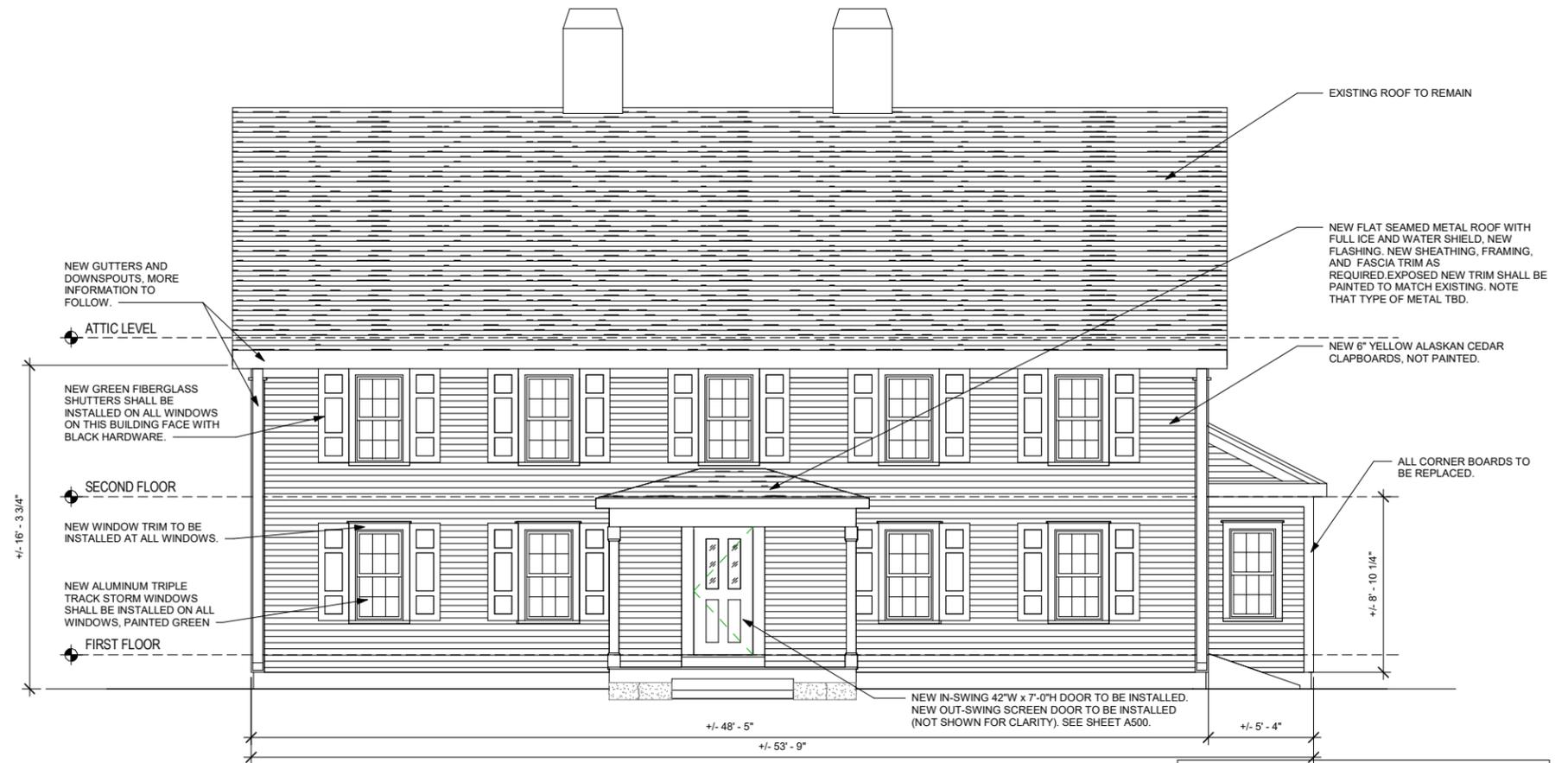
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② WEST ELEVATION
1/4" = 1'-0"



① FRONT ELEVATION
1/4" = 1'-0"

PROJECT

HISTORIC EXTERIOR
EDWARDS MARKS BUILDING
744 MAIN STREET, FALMOUTH,
MA, 02540

No. Date Revision

BID DOCUMENTS

NEW WORK ELEVATIONS

SCALE
1/4" = 1'-0"

STAMP

FILE NAME
EDWARDS
MARKS
BLDG

DRAWN BY
DHK

CHECKED BY
WG

JOB NO.
5005.20

DATE
04/18/2024

DRAWING NO.

A200

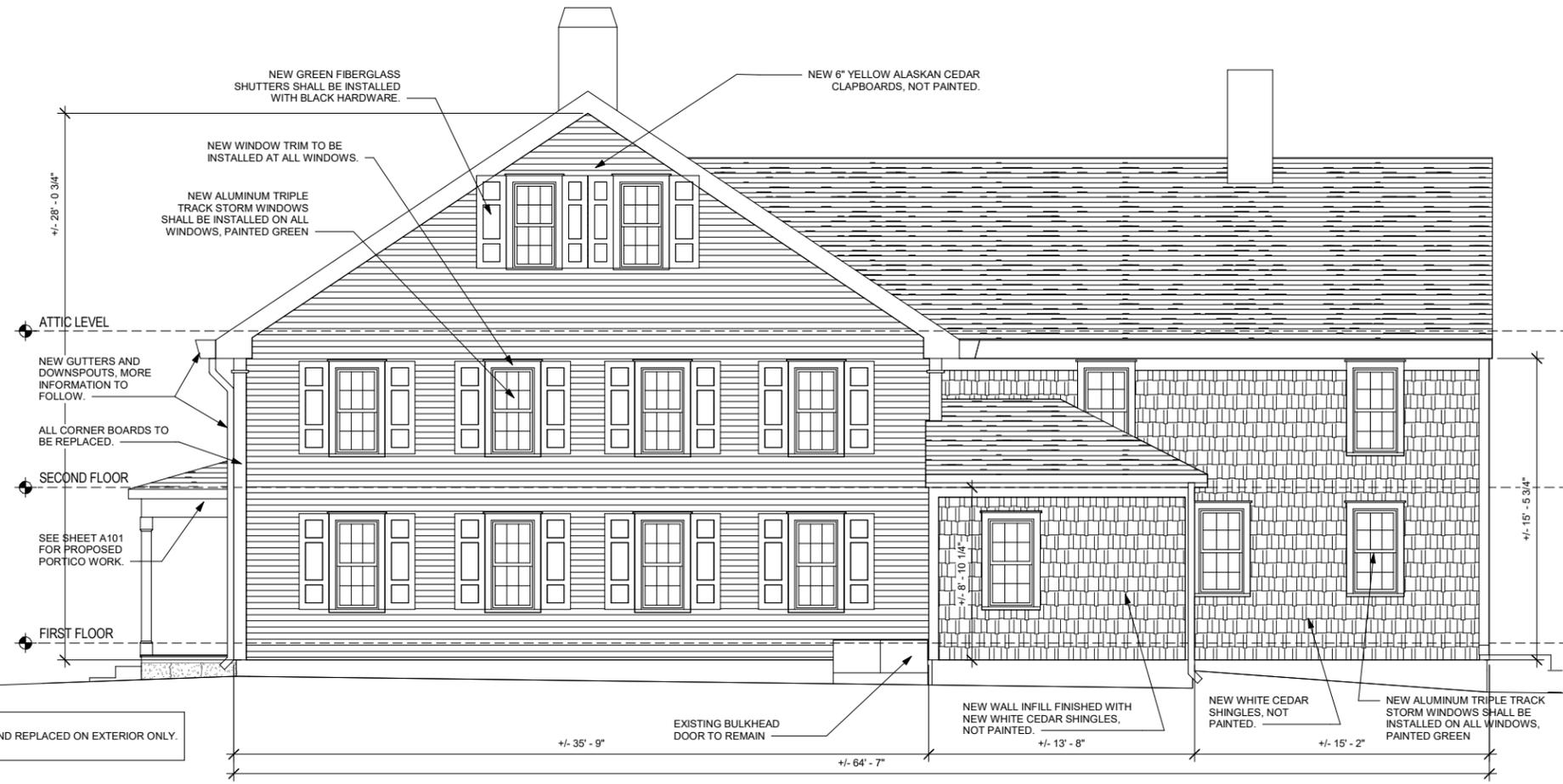
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NOTE:
• 60% OF EXISTING PARGE COAT TO BE REMOVED AND REPLACED ON EXTERIOR ONLY.
• CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.

② EAST ELEVATION - NEW WORK
1/4" = 1'-0"



NOTE:
• 100% OF EXISTING PARGE COAT TO BE REMOVED AND REPLACED ON EXTERIOR ONLY.
• CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.

EXISTING GRADING LOCATED AS NOTED SHALL BE RECONFIGURED IN ORDER TO REDIRECT RAIN WATER AWAY FROM THE BUILDING AND DIRECT IT TOWARDS THE ROADWAY.

① REAR ELEVATION - NEW WORK
1/4" = 1'-0"

PROJECT
HISTORIC EXTERIOR
EDWARDS MARKS BUILDING
744 MAIN STREET, FALMOUTH,
MA, 02540

No.	Date	Revision

BID DOCUMENTS

NEW WORK ELEVATIONS

SCALE
1/4" = 1'-0"

FILE NAME
EDWARDS MARKS BLDG
DRAWN BY
DHK
CHECKED BY
WG

JOB NO.
5005.20
DATE
04/18/2024

DRAWING NO.
A201

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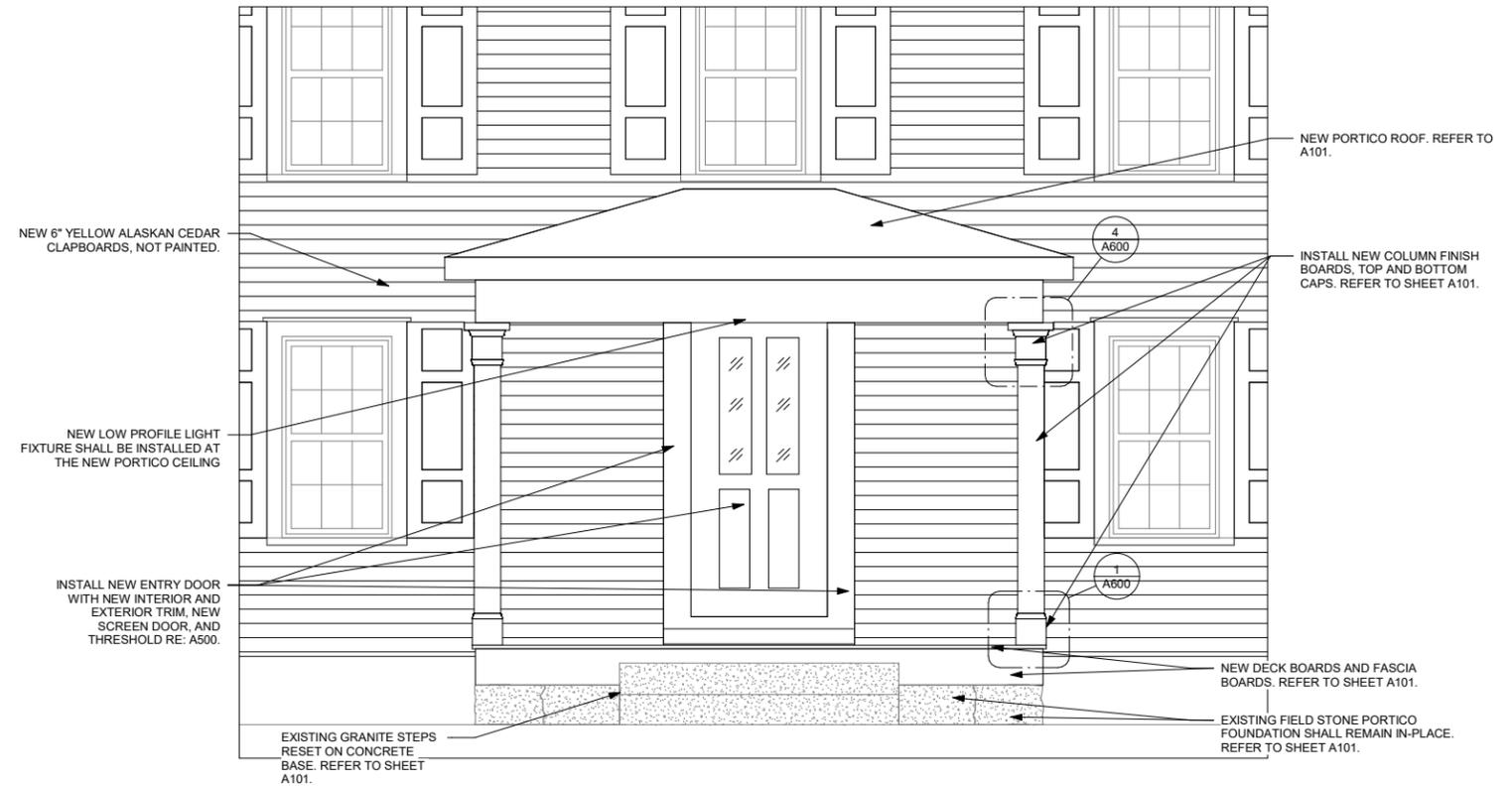


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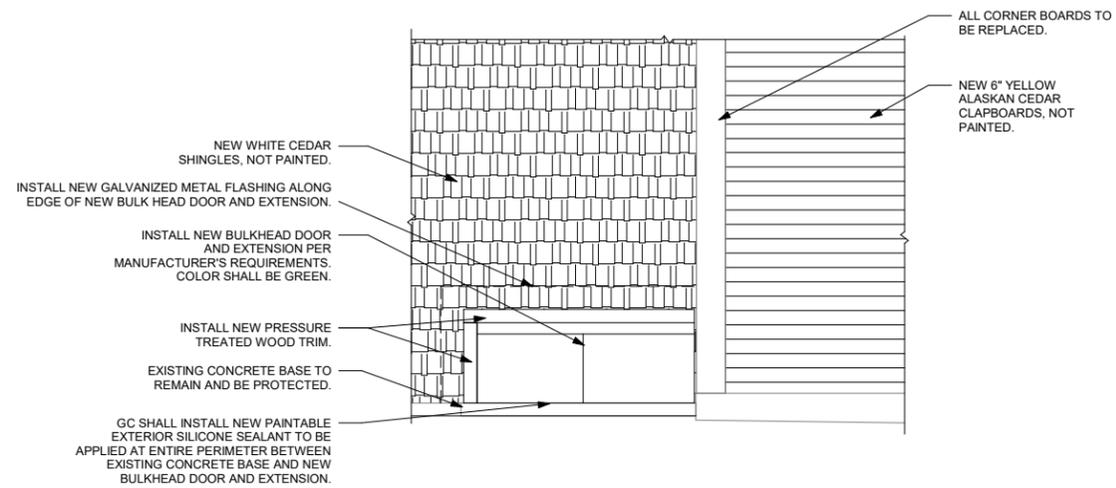
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PROJECT
HISTORIC EXTERIOR
EDWARDS MARKS BUILDING
744 MAIN STREET, FALMOUTH,
MA, 02540



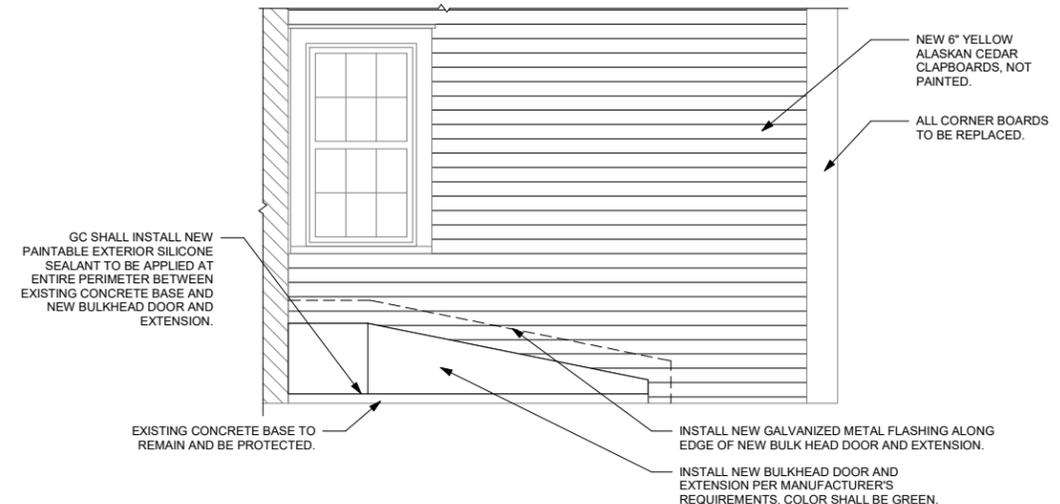
NOTE:
• ALL DIMENSIONS SHALL BE FIELD VERIFIED.

③ NEW WORK ELEVATION
1/2" = 1'-0"



NOTE: BASIS OF BULKHEAD DOOR AND EXTENSION DESIGN IS BASED ON BILCO CLASSIC SERIES DOOR.

② BULKHEAD DOOR NEW WORK ELEVATION SIDE
1/2" = 1'-0"



NOTE: BASIS OF BULKHEAD DOOR AND EXTENSION DESIGN IS BASED ON BILCO CLASSIC SERIES DOOR.

① BULKHEAD DOOR NEW WORK ELEVATION
1/2" = 1'-0"

No.	Date	Revision

BID DOCUMENTS

NEW WORK ELEVATIONS

SCALE 1/2" = 1'-0"	STAMP
FILE NAME EDWARDS MARKS BLDG	DRAWING NO. A202
DRAWN BY DHK	
CHECKED BY WG	
JOB NO. 5005.20 DATE 04/18/2024	



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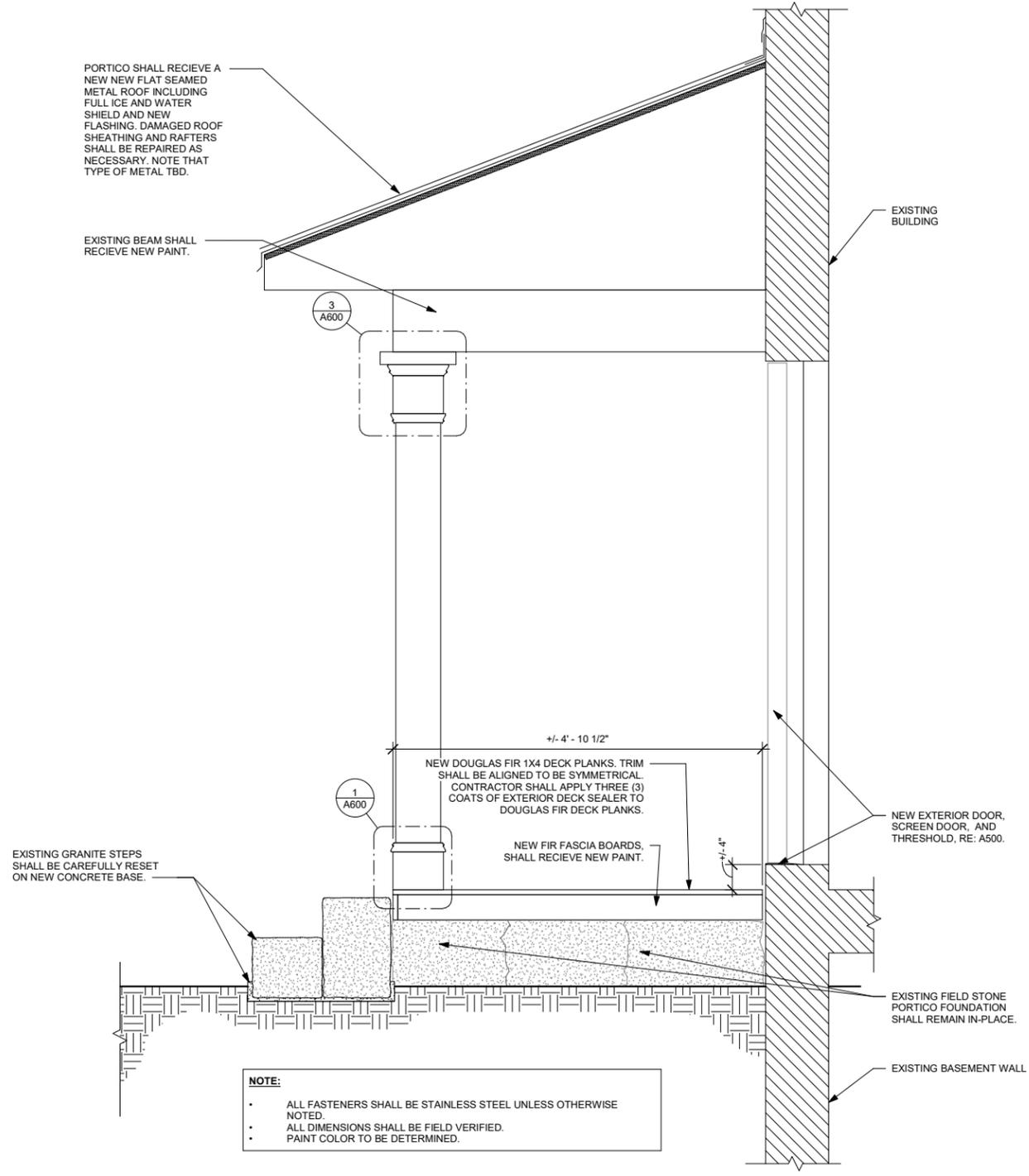
PROJECT
HISTORIC EXTERIOR
EDWARDS MARKS BUILDING
744 MAIN STREET, FALMOUTH,
MA, 02540

No.	Date	Revision

BID DOCUMENTS

NEW WORK SECTIONS

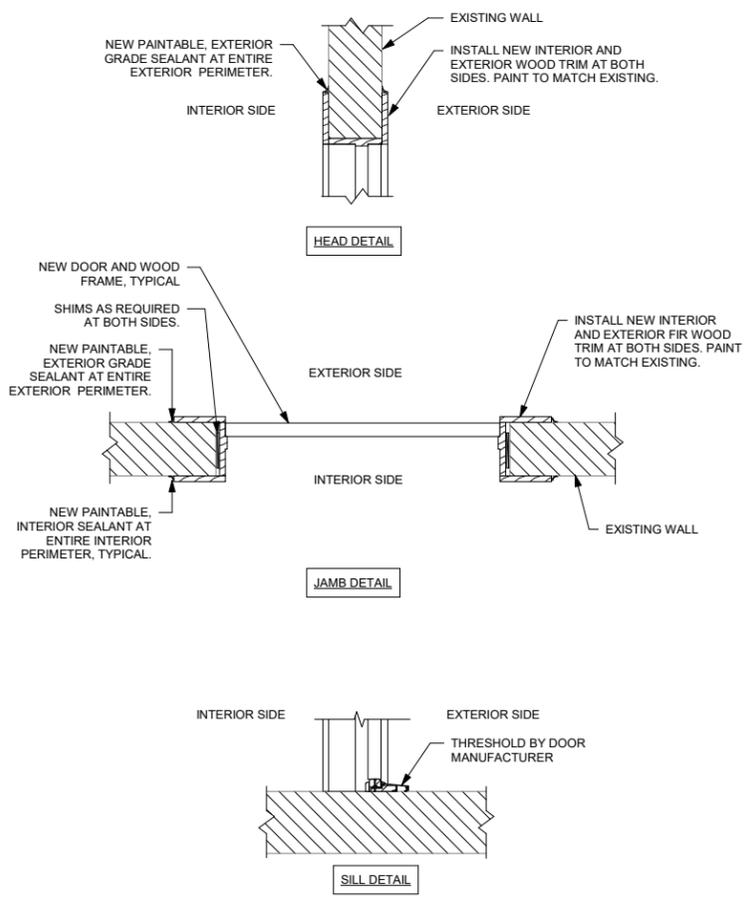
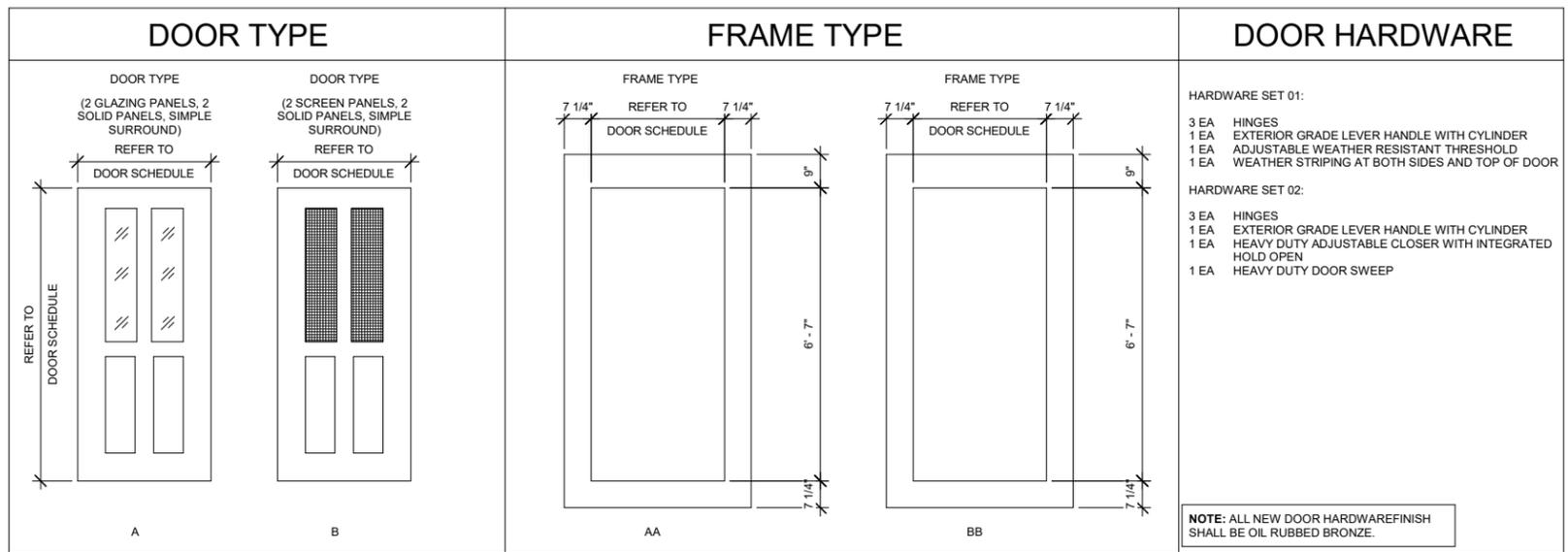
SCALE 1" = 1'-0"	STAMP
FILE NAME EDWARDS MARKS BLDG	DRAWING NO. A300
DRAWN BY DHK	
CHECKED BY WVG	
JOB NO. 5005.20 DATE 04/18/2024	



① SECTION
1" = 1'-0"

DOOR SCHEDULE

MARK	DOOR TYPE	WIDTH	HEIGHT	THICKNESS	SWING	DOOR MATERIAL	DOOR FINISH	COLOR	FRAME TYPE	FRAME MATERIAL	FRAME FINISH	FRAME COLOR	HARDWARE SET	GLAZING	COMMENTS
01	A	3' - 6"	6' - 7"	0' - 1 3/4"	LH	WOOD	PAINTED	TBD	AA	WOOD	PAINTED	TDB	01	YES	NEW DOOR PAINT COLOR SHALL MATCH EXISTING. GLAZING SHALL BE CLEAR TEMPERED, 5/8" INSULATED GLASS
02	B	3' - 6"	7' - 0"	0' - 2"	RHR	WOOD	PAINTED	TBD	BB	WOOD	PAINTED	TDB	02	--	SCREEN SHALL BE VINYL-COATED FIBERGLASS MESH, COLOR AND MESH SIZE TO BE DETERMINED.



1 DOOR DETAILS
1" = 1'-0"



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ARCHITECTS

DHK Architects, Inc.
54 Canal Street
Suite 200
Boston, MA 02114
617.267.6408

PROJECT

HISTORIC EXTERIOR
EDWARDS MARKS BUILDING
 744 MAIN STREET, FALMOUTH,
 MA, 02540

No.	Date	Revision

BID DOCUMENTS

DOOR SCHEDULE

SCALE As indicated	STAMP
FILE NAME EDWARDS MARKS BLDG	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;"> <p>A500</p> </div>
DRAWN BY DHK	
CHECKED BY WVG	
JOB NO. 5005.20	
DATE 04/18/2024	DRAWING NO.



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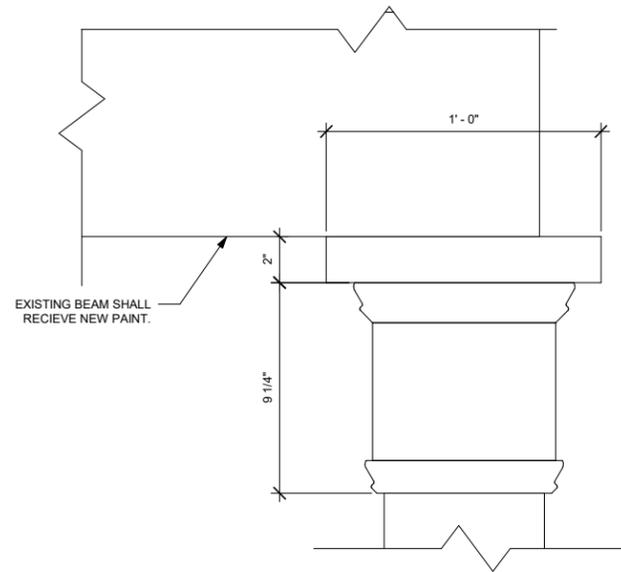
PROJECT
HISTORIC EXTERIOR
EDWARDS MARKS BUILDING
744 MAIN STREET, FALMOUTH,
MA, 02540

No.	Date	Revision

BID DOCUMENTS

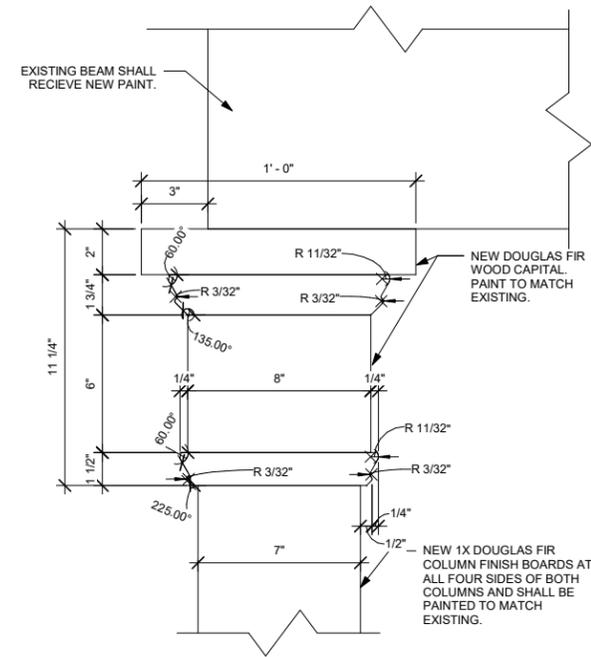
NEW WORK DETAILS

SCALE 3" = 1'-0"	STAMP
FILE NAME EDWARDS MARKS BLDG	DRAWING NO. A600
DRAWN BY DHK	
CHECKED BY WVG	
JOB NO. 5005.20 DATE 04/18/2024	

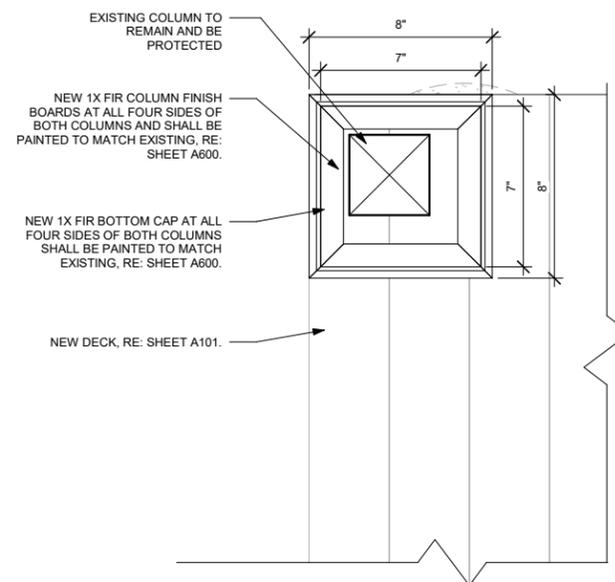


NOTE: SEE 3 / A600 FOR TYPICAL NOTES AND DIMENSIONS.

④ COLUMN CAPITAL DETAIL
3" = 1'-0"



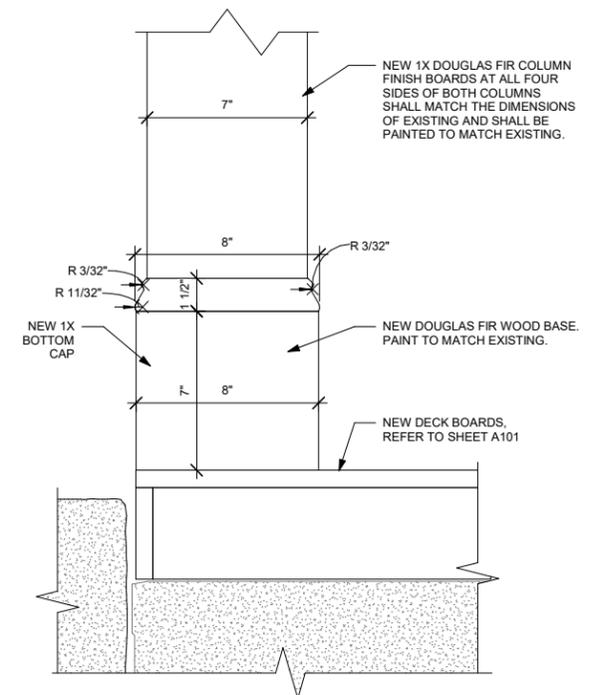
③ COLUMN CAPITAL DETAIL
3" = 1'-0"



② COLUMN FINISH BOARD DETAIL
3" = 1'-0"

NOTE:

- ALL FASTENERS SHALL BE STAINLESS STEEL UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED.
- PAINT COLOR TO BE DETERMINED.



① COLUMN BASE DETAIL
3" = 1'-0"



Town of Falmouth

Edward Marks Building Restoration Project In-Kind Work

IN-KIND WORK POLICY

1) Purpose and Scope

The Edward Marks Building Restoration Project In-Kind Work Policy is a management tool which allows volunteer work to occur on the project while ensuring all work is done within certain parameters and is completed following all current building codes and practices.

2) Applicability

This policy applies to any work being done on the Edward Marks Building that is not completed by a licensed contractor hired by the Town of Falmouth through the traditional municipal procurement process (G.L., c. 30B).

3) Definitions

Building Permit: A document issued by a local government when a licensed contractor wants to build a new structure or engage in construction on an existing structure for expansion or repair.

Edward Marks Building Restoration Project: The Town of Falmouth's initiative to restore the exterior envelope and hardscape features of the municipal building ("Edward Marks Jr. Building" and "Falmouth Poor House") located at 744 Main Street, Falmouth.

In-Kind Work: Activities which are performed by individuals without monetary compensation. For this policy, it is assumed that activities shall include improvements to the exterior of the Edward Marks Jr. Building and its grounds.

Licensed Contractor: Licensed professionals or tradesmen, such as electricians, plumbers, or architects, who are properly licensed and who are working within the scope of their license.

4) Eligibility

In-kind work is allowed provided that the individual seeking to perform said work is a licensed contractor in the building trade(s) and has past experience with the specific work.

5) Policies

The Facilities Manager and the Town Planner are responsible for overseeing the in-kind work and ensuring that said work is being performed within the approved proposal.

No one performing in-kind work is allowed to enter the building at any time without notifying and obtaining permission from the Town of Falmouth Facilities Manager. Said permission may include items such as repetitive access ability or temporary access allotments subject to the Facilities Manager's discretion.



Town of Falmouth

Edward Marks Building Restoration Project In-Kind Work

All in-kind work shall be performed by a licensed contractor within the building trades.

There shall be no costs due to the individual performing the in-kind work from the Town of Falmouth. If there are any unforeseen costs that arise during the work, the individual must submit a cost analysis and receive written approval from the Facilities Manager and the Town Planner before the work can proceed.

6) Procedures

All proposed in-kind work shall be outlined in the attached In-Kind Work Application Form and submitted to the Facilities Manager and the Town Planner. The submission must include a description of the in-kind work to be performed, any structural, architectural, and site plans that are required, a cost estimate, and timeline for completion.

The Facilities Manager and the Town Planner shall then review the In-Kind Work Application, inclusive of all necessary supplemental information, with the Building Commissioner to ensure compliance with the specific building code, accuracy of the costs and materials, and realistic timeline constraints.

Once the initial review is complete, the Facilities Manager and the Town Planner shall meet with the Town Manager for final approval of the submission. The Town Planner is responsible for verifying that the Edward Marks Building Advisory Committee has approved the proposed in-kind work before approving the request.

If approved by the Town Manager, the Town Planner will forward correspondence to the applicant indicating approval to proceed.

Before any work on a project can commence, a building permit has to be obtained from the Building Department (if applicable), along with any other permits that might be required from other Town Departments.

Once the in-kind work is finished, the Building Commissioner (or designee) shall inspect the work and sign-off that the work has been completed.

7) Exceptions

There are no explicit exceptions to this In-Kind Work Policy; however, if one does arise in the future, the requestor will need to seek a determination as to the validity of said potential exception from the Falmouth Town Manager.



Town of Falmouth
Edward Marks Building Restoration Project In-Kind Work

IN-KIND WORK APPLICATION

Date:

Applicant:

Address:

Professional Credentials / License Information:

Description of Work:

Anticipated Cost:

Anticipated Timeline:

Other Comments / Requests (indicate if attachments are present here):

Applicant

Date

Facilities Manager

Date

Town Planner

Date

Town Manager

Date

This application is considered approved and complete only when all signatures above are present and dated.



Town of Falmouth

Edward Marks Building Restoration Project In-Kind Work

ADULT PARTICIPANT RELEASE, WAIVER OF LIABILITY, AND INDEMNITY AGREEMENT

Participant's Name: _____

Participant's Date of Birth: ___/___/_____

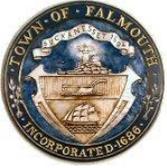
Address: _____

City/State/Zip: _____

Home Phone: _____ Work Phone: _____ Cell Phone: _____

In consideration of being permitted to participate in the _____, (hereinafter "Program") I, the undersigned, on my behalf and for my heirs, personal and/or legal representatives, next of kin, and assigns (hereinafter collectively referred to as "I" or "ME"), hereby:

1. RELEASE, WAIVE, DISCHARGE and COVENANT NOT TO SUE the Town/City of _____, its agents, servants, employees, officials, volunteers, contractors, representatives (hereinafter the "Town") from any and all liability, claims, demands, actions, suits, loss and causes of action whatsoever arising out of or related to any loss, damage, or injury, including, but not limited to, death, illness, injury and/or disease, and including any death, illness, injury and/or disease in any way related to or arising out of the novel coronavirus (COVID-19), that may be sustained by the Participant and/or arising out of or related to the Participant's participation in the Program, regardless of whether they arise in tort, contract, strict liability, or other legal theory. This Adult Participant Release, Waiver of Liability, and Indemnity Agreement shall not apply to any injury or harm (including death) caused by gross negligence.
2. AGREE TO INDEMNIFY, SAVE and HOLD HARMLESS the Town from any and all liability, claims, demands, actions, suits, loss, and causes of action and any cost it may incur, including court costs and attorneys' fees, arising out of or related to my participation in the Program, regardless of whether they arise in tort, contract, strict liability, or other legal theory.



Town of Falmouth

Edward Marks Building Restoration Project In-Kind Work

3. ACKNOWLEDGE that my participation in the Program may be dangerous and may involve the risk of serious injury and/or illness, including COVID-19, and/or death and ASSUME full responsibility for any risk of loss, death, illness, injury and/or disease which I may sustain arising out of or related to the Program whether known or unknown and whether caused by the negligence of the Town or otherwise.
4. AGREE that this Adult Participant Release, Waiver of Liability, and Indemnity Agreement shall be construed in accordance with the laws of the Commonwealth of Massachusetts and that, in the event any portion of this document is deemed unlawful or unenforceable, said portion shall be severable and the balance of the terms shall continue in full legal force and effect.
5. AGREE that I, the undersigned, am the parent or legal guardian of the Participant. I hereby execute this Participant Release, Waiver of Liability, and Indemnity Agreement on the Participant's behalf. I understand that by executing this agreement on behalf of the Participant, I am binding the Participant and ME to the terms of this Participant Release, Waiver of Liability, and Indemnity Agreement.

I HAVE READ THIS ADULT PARTICIPANT RELEASE, WAIVER OF LIABILITY, AND INDEMNITY AGREEMENT, FULLY UNDERSTAND ITS TERMS, UNDERSTAND THAT I HAVE GIVEN UP SUBSTANTIAL RIGHTS BY SIGNING IT, AND HAVE SIGNED IT FREELY AND VOLUNTARILY WITHOUT ANY INDUCEMENT, ASSURANCE OR GUARANTEE BEING MADE TO ME AND INTEND MY SIGNATURE TO BE A COMPLETE AND UNCONDITIONAL RELEASE OF ALL LIABILITY TO THE GREATEST EXTENT ALLOWED BY LAW.

Participant Signature

Date

Participant Printed Name