

TOWN OF FALMOUTH
BOARD OF SELECTMEN

AGENDA

MONDAY, NOVEMBER 5, 2018 – 5:00 P.M.

FALMOUTH HIGH SCHOOL
874 GIFFORD STREET
AUDITORIUM

5:00 p.m. OPEN SESSION

Information and Listening Session on Main Street Reconstruction Project

Adjourn Listening Session

6:30 p.m.

1. Call to Order
2. Pledge of Allegiance
3. Recognition
4. Announcements
5. Public Comment

6:45 p.m. SUMMARY OF ACTIONS

1. Administrative Orders
 - a. Vote to Approve \$1,575.00 to be Expended from Article 17 for the Purposes of Analyzing Nitrogen Content in Shellfish Harvested from Seapit River in 2018
 - b. Vote to Approve Town of Falmouth Final Fingerprint Policy

7:00 p.m. BUSINESS

1. Interview, Vote and Appoint Committee Member
 - a. EDIC – Patti Haney
2. Presentation by Department of Public Works on Federal Stormwater Requirements
3. Presentation on Locustfield Affordable Housing Local Initiative Program Application, continued from October 29, 2018
4. Minutes of Meetings:
Public Session – September 17, 2018; September 24, 2018; October 15, 2018; October 22, 2018;
October 29, 2018
5. Individual Selectmen's Reports
6. Review of Town Manager's Report
7. Review and/or Discuss Correspondence Received

Susan L. Moran, Chairman
Board of Selectmen

WATER QUALITY MANAGEMENT COMMITTEE

Falmouth, Massachusetts

October 25, 2018

TO: Julian Suso, Town Manager and Board of Selectmen
FROM: Eric Turkington, Chairman, Water Quality Management Committee
CC: Chuck Martinsen, Shellfish Warden, MES

**RE: SUMMARY OF ACTIONS for Selectmen's meeting on November 5, 2018:
Approval of \$1575 from Article 17 to measure nitrogen content in Shellfish
harvested from Seapit River in 2018**

BACKGROUND:

One of the strategies being developed in Falmouth and elsewhere to address excess nitrogen in estuaries is growing and harvesting shellfish, particularly oysters. For the Town of Mashpee, aquaculture is a high priority in Waquoit Bay. The Town of Falmouth has an opportunity to quantify nitrogen removal at a shellfish grant in Seapit River, a subwatershed in Falmouth's portion of Waquoit Bay.

It is well known that oysters take up nitrogen in their meat and shell. The DEP is expected to give credit for nitrogen removal if the percent of harvest weight that is nitrogen and total weight of oysters removed from an estuary are directly measured. Published data has reported significant variations in nitrogen content as a percent of oyster weight as a function of where and how the oysters are grown, and no data is presently available for oysters grown in Waquoit Bay. Estimates of nitrogen content are acceptable for planning purposes, but the DEP has indicated it is looking for direct measurements for watersheds that will include aquaculture as part of their comprehensive wastewater management plans (CWMPs).

A private grower in Seapit River has significantly increased production over previous grant holders, and has been weighing his harvest. He has offered to let the Shellfish Warden send samples from his harvest to the Boston University Stable Isotope Lab where Falmouth already sends its own samples. This information would provide Falmouth with a meaningful assessment of how much additional nitrogen is being removed from the Seapit River due to increased aquaculture since the Massachusetts Estuaries Project established a total maximum daily load (TMDL) for Waquoit Bay in 2013.

On October 18th, the Water Quality Management Committee voted to recommend to the Selectmen approval of \$1575 to analyze the nitrogen content of the commercial harvest from Seapit River this year.

REQUESTED ACTION: Approve \$1575 to be expended from Article 17 for the purposes of analyzing nitrogen content in Seapit River shellfish harvested in 2018, to be expended under the jurisdiction of the Dept. of Marine and Environmental Sciences.

Diane Davidson

From: Frank Duffy <fduffy@falmouthmass.us>
Sent: Friday, November 02, 2018 3:12 PM
To: 'Julian Suso'; Peter Johnson-Staub
Cc: 'Dunne Edward'; 'Diane Davidson'; Douglas DeCosta
Subject: RE: Fingerprint-Based Background Checks policy

Julian: I have reviewed the FPD General Order "Fingerprint Based Background Check for Municipal Licensing." This is a statement of the FPD policy for procedures to effectuate the civil fingerprint process authorized by the Ch. 156, ss. 16-21 of the Code of Falmouth. The policy is based upon and closely follows the Model Municipal Fingerprinting Policy promulgated by the Dept. of Criminal Justice Information Service. It has been adapted for use with Falmouth specific information. The policy is approved.

Frank K. Duffy, Town Counsel
Town of Falmouth
157 Locust Street
Falmouth, MA 02540
(508) 548-8800 fax (508) 540-0881

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From: Julian Suso [<mailto:jsuso@falmouthmass.us>]
Sent: Tuesday, October 30, 2018 2:42 PM
To: Frank Duffy
Cc: 'Dunne Edward'; Diane Davidson
Subject: FW: Fingerprint-Based Background Checks policy

Frank,
Can you take an expedited look and forward a suggested "policy," which I now understand from the Police Department has to be in place with the State in order that this fingerprinting can proceed with the State's cooperation? I assume this will require BOS action to approve such a policy; any chance we could have a policy to take to them for the upcoming Monday, November 5 meeting? Thanks.
Julian

From: Douglas Decosta <ddecosta@falmouthpolice.us>
Sent: Tuesday, October 30, 2018 1:46 PM
To: 'Julian M. Suso' <jsuso@falmouthmass.us>
Cc: Dunne Edward <edunne@falmouthpolice.us>; 'Frank Duffy' <fduffy@falmouthmass.us>
Subject: FW: Fingerprint-Based Background Checks policy

Mr. Suso,

I have attached the Fingerprint-Based Background Checks policy material you requested.

Please contact me with any questions.

Lieutenant Douglas DeCosta
Falmouth Police Department
750 Main Street
Falmouth, MA 02540
Office: 774-255-4527
Fax: 508-457-2566
ddecosta@falmouthpolice.us
www.falmouthpolice.us



-----NOTICE-----

This email is intended for professional and business purposes of the Falmouth Police Department. The contents of this email message and any attachments are confidential and are intended solely for the addressee. If you are not the intended recipient please notify the sender and delete this message.

From: Douglas Decosta [<mailto:ddecosta@falmouthpolice.us>]
To: 'Frank Duffy' <fduffy@falmouthmass.us>
Cc: Dunne Edward (edunne@falmouthpolice.us) <edunne@falmouthpolice.us>
Subject: Fingerprint-Based Background Checks policy

Frank,

I have just completed a Fingerprint-Based Background Checks policy for our department. However, while I was researching different policies I noticed that all expect one were Town-wide policies. I have attached samples policies, along with a document that has links to more sample policies.

Should the Town of Falmouth have a Fingerprint-Based Background Checks for Municipal Licensing policy?

Thanks,

Lieutenant Douglas DeCosta
Falmouth Police Department
750 Main Street
Falmouth, MA 02540
Office: 774-255-4527
Fax: 508-457-2566
ddecosta@falmouthpolice.us
www.falmouthpolice.us

**Department of Criminal Justice Information Services
Model Municipal Civil Fingerprinting Policy
for Municipal Licensing Applicants**

Applicability

This policy is applicable to the civil fingerprinting process for the state and national criminal history screening of applicants for the following municipal licenses:

<insert municipal licenses for which fingerprints may be obtained to screen applicants>.

Authority

This policy is promulgated in accordance with 28 CFR 20.33(a)(3), Public Law 92-544, M.G.L. c. 6, § 172B ½, and <insert local bylaw or ordinance authorizing fingerprint-based state and national criminal history screening>.

The civil fingerprinting process for municipal licensing applicants is also subject to the “Massachusetts Department of Criminal Justice Information Services Policies and Procedures for Civil Fingerprinting for Municipal Licensing Applicants.”

Schedule of Fingerprint Collection

Licensing applicants may appear at <insert city/town name> Police Department, located at <insert police department address>, for fingerprint collection on the following days <insert days fingerprint collection is available> between the following hours <insert hours available for fingerprint collection>.

[Municipality should indicate here whether appointments are necessary and include instructions for making an appointment.]

Verification of Identification

Before being fingerprinted, all licensing applicants are required to present government-issued identification. A licensing applicant’s fingerprints will not be collected until his or her identity has been verified. The following forms of identification will be accepted:

<insert acceptable forms of identification>.

Databases to be Searched

All licensing applicants’ fingerprints will be searched against the Automated Fingerprint Identification System (AFIS) fingerprint database which is maintained by the Massachusetts State Police and the Federal Bureau of Investigation’s (FBI) Integrated Automated Fingerprint Identification System (IAFIS) fingerprint database.

Consent

All licensing applicants must consent to the collection and submission of their fingerprints for the purposes of conducting state and national criminal history screening by completing the “Civil Fingerprinting Consent Form”. Consent forms will be retained for at least one year but for no longer than three years.

Payment of Fingerprinting Fees

Fingerprinting fees include federal, state, and local fees. Before being fingerprinted, all licensing applicants must pay the statutory fingerprint fee of thirty dollars (\$30.00) with a money order or bank check payable to the "Commonwealth of Massachusetts." In addition to a signature, the money order or bank check shall include the name of the applicant hand-printed in block letters.

Licensing applicants may pay the municipal fingerprint fee of <insert municipal fingerprint fee amount> with the following forms of payment:

<insert acceptable forms of payment>.

Storage of Fingerprint-Based State and National Criminal History Information

Fingerprint-based state and national criminal history record information shall not be retained or stored except for the purpose of allowing an applicant the opportunity to challenge the criminal history record. During the challenge stage, the fingerprint-based state and national criminal history record information shall be stored in a secure location and access to the information shall be restricted to authorized personnel.

Handling of Fingerprint-Based State and National Criminal History Information

Fingerprint-based state and national criminal history record information will only be handled and reviewed by authorized personnel in a secure area, out of the view of the public and of all other unauthorized individuals.

Destruction of Fingerprint-Based State and National Criminal History Information

When fingerprint-based state and national criminal history information is no longer needed, it shall be destroyed by the licensing authority by burning, shredding, or other method, rendering the information unreadable.

Correcting Fingerprint-Based State and Nation Criminal History Information

All licensing applicants have the right to challenge the information contained within a fingerprint-based state or national criminal history record response. In order to change, correct, or update criminal history record in question, the licensing applicant must follow the procedures listed below:

If, after reviewing his/her identification record, the subject thereof believes that it is incorrect or incomplete in any respect and wishes changes, corrections or updating of the alleged deficiency, he/she should make application directly to the agency which contributed the questioned information. The subject of a record may also direct his/her challenge as to the accuracy or completeness of any entry on his/her FBI record to the FBI, Criminal Justice Information Services (CJIS) Division, ATTN: SCU, Mod. D-2, 1000 Custer Hollow Road, Clarksburg, WV 26306. The FBI will then forward the challenge to the agency which submitted the data requesting that agency to verify or correct the challenged entry. Upon the receipt of an official communication directly from the agency which contributed the original information, the FBI CJIS Division will make any changes necessary in accordance with the information supplied by that agency.

Each applicant will also be provided with a copy of the "FBI Procedure for Changing, Correcting or Updating a Record."



Falmouth Police Department
General Order

Effective Date	Number
DRAFT	SUP-5

Subject

Fingerprint-Based Background Checks for Municipal Licensing

**1.0
Purpose &
Authority**

- A. In order to protect the health, safety, and welfare of the inhabitants of the Town of Falmouth and as authorized by MGL c. 6, § 172B 1/2, as enacted by Chapter 256 of the Acts of 2010, the Falmouth Town Code Chapter 156 requires a) applicants for certain Town licenses permitting engagement in specific occupational activities within the Town as enumerated in § 156-17 to submit to fingerprinting by the Falmouth Police Department, b) the Police Department to conduct criminal record background checks based on such fingerprints, and c) the Town to consider the results of such background checks in determining whether or not to grant a license.
- B. The Town authorizes the Massachusetts State Police, the Massachusetts Department of Criminal Justice Information Systems (DCJIS), and the Federal Bureau of Investigation (FBI) as may be applicable to conduct on the behalf of the Town and its Police Department fingerprint-based state and national criminal record background checks, including of FBI records, consistent with this by-law. The Town authorizes the Police Department to receive and utilize FBI records in connection with such background checks, consistent with the Town Code.

**2.0
Applicability**

- A. Any applicant for a license to engage in any of the following occupational activities within the Town shall submit a full set of fingerprints taken by the Falmouth Police Department within ten (10) days of the date of the application for a license for the purpose of conducting a state and national criminal record background check to determine the suitability of the applicant for the license:
 - 1) Manager of alcoholic beverage license
 - 2) Hawker and peddler
 - 3) Owner or operator of public conveyance
 - 4) Dealer of secondhand articles
 - 5) Ice cream truck vendor
- B. At the time of fingerprinting, the Police Department shall notify the individual fingerprinted that the fingerprints will be used to check the individual's FBI criminal history records.

**3.0
Schedule of
Fingerprint
Collection**

Licensing applicants may appear at the Falmouth Police Department, located at 750 Main Street, for fingerprint collection Monday through Friday between the following hours 8 am to 5:30 pm.

No appointment is necessary.

**4.0
Verification of
Identification**

Before being fingerprinted, all licensing applicants are required to present government-issued identification. A licensing applicant's fingerprints will not be collected until his or her identity has been verified. The following forms of identification will be accepted:

1. Valid Driver's License
 2. Valid Passport
 3. Valid MA Registry of Motor Vehicles Identification Card
-

**5.0
Consent**

All licensing applicants must consent to the collection and submission of their fingerprints for the purposes of conducting state and national criminal history screening by completing the "Civil Fingerprinting Consent Form". Consent forms will be retained for at least one year but for no longer than three years.

**6.0
Fees**

Fingerprinting fees include federal, state, and local fees. Before being fingerprinted, all licensing applicants must pay the statutory fingerprint fee of thirty dollars (\$30.00) with a money order or bank check payable to the "Commonwealth of Massachusetts." In addition to a signature, the money order or bank check shall include the name of the applicant hand-printed in block letters.

In addition, licensing applicants must pay the municipal fingerprint fee of seventy dollars (\$70.00) with a money order or bank check payable to the "Town of Falmouth." In addition to a signature, the money order or bank check shall include the name of the applicant hand-printed in block letters.

**7.0
Processing**

- A. The Police Department shall transmit fingerprints it has obtained pursuant to Town Code § 156-17 to the Identification Section of the Massachusetts State Police, DCJIS, and/or the FBI as may be necessary for the purpose of conducting fingerprint-based state and national criminal records background checks of license applicants.
-

- B. All licensing applicants' fingerprints will be searched against the Automated Fingerprint Identification System (AFIS) fingerprint database which is maintained by the Massachusetts State Police and the Federal Bureau of Investigation's (FBI) Integrated Automated Fingerprint Identification System (IAFIS) fingerprint database.
- C. The Police Department shall provide the applicant with a copy of the results of his or her fingerprint-based criminal records background check and supply the applicant the opportunity to complete or challenge the accuracy of the information contained in it, including in the FBI identification record. The Police Department shall also supply applicants with information regarding the procedures for obtaining a change, correction, or updating of a criminal record, including a copy of 28 CFR 16.34 pertaining to FBI identification records. The Police Department shall not utilize the fingerprint-based criminal records background check pursuant to the subsection below until it has taken steps detailed in this subsection and otherwise complied with the Town's policy applicable to Town licensing related criminal record background.
- D. The Police Department shall communicate the results of fingerprint-based criminal record background checks to the applicable licensing authority within the Town. The Police Department shall indicate whether the applicant has been convicted of, or is awaiting final adjudication for, a crime that bears upon his or her suitability, or any felony or misdemeanor that involved force or threat of force, controlled substances or a sex-related offense.
- E. The civil fingerprinting process for municipal licensing applicants is also subject to the "Massachusetts Department of Criminal Justice Information Services Policies and Procedures for Civil Fingerprinting for Municipal Licensing Applicants."

**8.0
Correcting
Fingerprint-
Based State and
Nation
Criminal
History
Information**

All licensing applicants have the right to challenge the information contained within a fingerprint-based state or national criminal history record response. In order to change, correct, or update criminal history record in question, the licensing applicant must follow the procedures listed below:

If, after reviewing his/her identification record, the subject thereof believes that it is incorrect or incomplete in any respect and wishes changes, corrections or updating of the alleged deficiency, he/she should make application directly to the agency which contributed the questioned information. The subject of a record may also direct his/her challenge as to the accuracy or completeness of any entry on his/her FBI record to the FBI, Criminal Justice Information Services (CJIS) Division, ATTN: SCU, Mod. D□2, 1000 Custer Hollow Road, Clarksburg, WV 26306. The FBI will then forward the challenge to the agency which submitted the data requesting that agency to verify or correct the challenged entry. Upon the receipt of an official communication directly from the agency which contributed the original information, the FBI CJIS Division will make any changes necessary in accordance with the information supplied by that agency.

Each applicant will also be provided with a copy of the "FBI Procedure for Changing, Correcting or Updating a Record."

**9.0
Reliance on
results**

Licensing authorities of the Town shall utilize the results of fingerprint-based criminal record background checks for the sole purpose of determining the suitability of the subjects of the checks in connection with the license applications specified in Town Code § 156-17. A Town licensing authority may deny an application for a license on the basis of the results of a fingerprint-based criminal record background check if it determines that the results of the check render the subject unsuitable for the proposed occupational activity. The licensing authority shall consider all applicable laws, regulations and Town policies bearing on an applicant's suitability in making this determination. The licensing authority shall not deny a license based on information in a criminal record unless the applicant has been afforded a reasonable time to correct or complete the record or has declined to do so.

**10.0
Compliance
with laws,
regulations, and
Town policies.**

Implementation of this policy and the conducting of fingerprint-based criminal record background checks shall be in accordance with all applicable laws, regulations, and Town policies, including, but not limited to, the Town's policy applicable to licensing-related criminal record checks which shall include record retention and confidentiality requirements. The Town shall not disseminate the results of fingerprint-based criminal background checks except as may be provided by law, regulation, and Town policy. The Town shall not disseminate criminal record information received from the FBI to unauthorized persons or entities.

**12.0
Handling of
Fingerprint-
Based State and
National
Criminal
History
Information**

Fingerprint-based state and national criminal history record information will only be handled and reviewed by authorized personnel in a secure area, out of the view of the public and of all other unauthorized individuals.

**11.0
Storage of
Fingerprint-
Based State and
National**

Fingerprint-based state and national criminal history record information shall not be retained or stored except for the purpose of allowing an applicant the opportunity to challenge the criminal history record. During the challenge stage, the fingerprint-based state and national criminal history record information shall be stored in a secure location and access to the information shall be restricted to authorized personnel.

**Criminal
History
Information**

Massachusetts Police Accreditation Standards References:

Review date(s):

Promulgated by:

Edward A. Dunne, Chief of Police

TOWN OR PD LETTERHEAD
CIVIL FINGERPRINTING CONSENT FORM

I, _____, consent to the collection of my fingerprints as part of the application process for the following license: _____.

I acknowledge and understand that my fingerprints will be searched against the database maintained by the Federal Bureau of Investigation.

Signature

Date

Name (printed)

TOWN OF DEDHAM
CIVIL FINGERPRINTING POLICY

**State and National Criminal History Record Checks of Applicants for
Licenses in Specified Occupations**

1. POLICY STATEMENT

It is the goal of the Town of Dedham to ensure the safety of its citizens and to regulate the use of occupational licenses to ensure they are used responsibly and that such licensed activities are conducted lawfully and do not detract from the quality of life in neighborhoods or in the Town as a whole. The Policy contained herein has been promulgated to achieve the above stated safety goals and objectives pursuant to the Town's adoption of the Civil Fingerprinting Bylaw, Chapter 42, ("Bylaw") consistent with the authorizing statute, G.L. c. 6, §172B½.

2. APPLICABLE LICENSES

Pursuant to the Bylaw under the authorizing statute, G.L. c. 6, §172B½, applicants for the following licenses shall submit fingerprints to the Dedham Police Department to conduct a state and national fingerprint-based criminal history check:

- A. Hawker and Peddler;
- B. Liquor Licensee Manager of Record;
- C. Alternate Manager of Record for a Liquor Licensee;
- D. Solicitors and Canvassers;
- E. Dealers in Junk, Second-Hand Articles and Antiques;
- F. Second Hand Motor Vehicle Dealers
- G. Hackney Carriage (Taxi) Operator; and
- H. Ice Cream Truck Vendor.

3. SUBMISSION OF FINGERPRINTS

- a. All applicants required under Section 2 of this Policy to submit fingerprints prior to action on their license application must submit fingerprints to the Dedham Police Department within seven (7) days of the submittal of their license application to the Licensing Authority.
- b. All licensing applicants must consent to the collection and submission of their fingerprints for the purposes of conducting state and national criminal history screening by completing the "Civil Fingerprinting Consent Form." Consent forms will be retained for at least one year but for no longer than three years.
- c. Before being fingerprinted, all licensing applicants are required to present government-issued identification for verification. A licensing applicant's fingerprints will not be collected until his or her identity has been verified. The following forms of identification will be accepted:

- Valid Driver's License
 - Valid Passport
 - Massachusetts Registry of Motor Vehicles Identification Card
- d. Applicants may appear for fingerprint collection at the Dedham Police Department, 600 High Street, Dedham, MA at scheduled times. To schedule an appointment for fingerprint collection, applicants are instructed to call the Dedham Police Department Administrative Commander at (781) 751-9323.
- e. An application shall be considered "complete" and therefore accepted by the Licensing Authority when all forms required have been fully completed and the necessary fingerprints have been submitted to the Police Department. The Licensing Authority shall not process or review a license application until it receives information from the Police Department relative to the criminal history check, as authorized.

4. **FEES**

- a. Fingerprinting fees include federal, state and local fees. Before being fingerprinted, all licensing applicants must pay the statutory fingerprint fee of thirty dollars (\$30.00) with a money order or bank check payable to the "Commonwealth of Massachusetts." In addition to a signature, the money order or bank check shall include the name of the applicant hand-printed in block letters.
- b. In addition, licensing applicants must pay the municipal fingerprint fee of twenty dollars (\$20.00) with a money order or bank check payable to the "Town of Dedham." In addition to a signature the money order or bank check shall include the name of the applicant hand-printed in block letters.

5. **PROCESSING BY THE POLICE DEPARTMENT**

- a. The Police Department, through authorized and designated personnel, will forward the applicant's fingerprints either electronically or manually to the State Identification Section of the Massachusetts State Police which will submit them to the FBI. All fingerprint submissions pursuant to the Town's Bylaw must contain the Town's Bylaw number in the "Reason Fingerprinted" block of the fingerprint submission form.
- b. The results of the state and national criminal history records will be returned directly to the live scan fingerprint device of the submitting department and/or a designated secure website managed by the Massachusetts Department of Criminal Justice Information Services ("DCJIS"). For results that are returned without a disposition to a charge, the submitting department is responsible for gathering the

- missing disposition(s). The DCJIS may be used to contact out-of-state agencies using the International Justice and Public Safety (Nlets) message keys.
- c. The Police Department shall transmit the results of the criminal background check to the Licensing Authority. The Licensing Authority shall, in turn, review the results of the criminal history check and determine suitability of the license applicant at its sole discretion.
 - d. The state and national criminal history records background check for civil licensing purposes may only be conducted based on a fingerprint check as authorized by the Town's Bylaw and may not be conducted based on name and date of birth.
 - e. A federal background check may not be conducted for Town employment applicants unless such employment involves a position requiring the licenses issued by the Town referenced in Section 2 of this Policy and the Town's Bylaw, as approved by the FBI.

6. ACCESS, REVIEW AND AMENDMENT OF CRIMINAL HISTORY RECORD

- a. All state and national criminal history information obtained by the Police Department pursuant to the Bylaw and this Policy is confidential and can only be disseminated as authorized by law and regulation. Access to the information shall be limited to those individuals with a direct need for criminal history in performing their official duties and functions pursuant to the Bylaw and this Policy. The Police Department shall maintain a central secondary dissemination log to record any dissemination of criminal background information outside of the Police Department, including dissemination at the request of the individual seeking a license.
- b. Any non-law enforcement Town employee who as a result of this process receives and reviews, or maintains state and national criminal history records check results must first complete DCJIS's information security/identification verification training, as well as DCJIS CORI training. All records will be securely maintained in accordance with state and national disclosure, retention and security requirements.
- c. After receiving criminal history information from the Police Department, prior to questioning the individual about his or her criminal history or determining an applicant's suitability due to criminal history, the Licensing Authority shall provide the applicant with written notice of the criminal history results and an

opportunity to challenge the accuracy or completeness of the criminal history within fourteen (14) days of the date of the written notice.

- d. The Licensing Authority shall not deny an applicant the license based on information in the record until the applicant has been afforded the opportunity to correct or complete the information, and/or has declined to do so within fourteen (14) days from the date of the written notice.
- e. If an applicant wants to challenge the accuracy or completeness of the record, the applicant must do so in writing to the Licensing Authority within fourteen (14) days of the date of the written notice as set forth in Title 28 CFR 16.34. In order to change, correct or update criminal history record in question, the licensing applicant must follow the procedures listed below:

If, after reviewing his/her identification record, the subject thereof believes that it is incorrect or incomplete in any respect and wishes changes, corrections or updating of the alleged deficiency, he/she should apply directly to the agency which contributed the questioned information. The subject of a record may also direct his/her challenge as to the accuracy or completeness of any entry on his/her FBI record to the FBI, Criminal Justice Information Services (CJIS) Division, ATTN: SCU, Mod. D-2, 1000 Custer Hollow Road, Clarksburg, WV 26306. The FBI will then forward the challenge to the agency which submitted the data requesting that the agency verify or correct the challenged entry. Upon the receipt of an official communication directly from the agency which contributed the original information, the FBI CJIS Division will make any changes necessary in accordance with the information supplied by that agency.

- f. As part of the application package issued by the Town of Dedham's licensing authority, all applicants will be supplied with information regarding the procedures for obtaining a change, correction, or updating of a criminal record, including a copy of "FBI Procedure for Changing, Correcting or Updating a Record" pertaining to FBI Identification records and DCJIS's "Information Concerning the Process in Correcting a Criminal Record."
- g. Any non-law enforcement Town employee who, pursuant to the disclosure requirements contained in this Policy, receives and reviews or maintains state and national criminal history records check results as a result of their role in the licensing process must become familiar with the confidentiality, dissemination and disclosure limitations as set forth by DCJIS and the FBI.
- h. Fingerprint-based state and national criminal history record information shall not be retained or stored except for the purpose of allowing an applicant the

opportunity to challenge the criminal history record. During the challenge stage, the fingerprint-based state and national criminal history record information shall be stored in a secure location and access to the information shall be restricted to authorized personnel.

- i. When fingerprint-based state and national criminal history information is no longer needed, it shall be destroyed by burning, shredding, or other method rendering the information unreadable.

7. LICENSING DECISIONS AS A RESULT OF THE CRIMINAL HISTORY CHECK

- a. The Licensing Authority is hereby authorized to deny an application for any license specified herein who is determined unfit for the license due to criminal history information obtained on the applicant after the provisions of Section 6 have been met.
- b. Factors that the Licensing Authority may consider in making a determination regarding fitness may include, but are not limited to:
 - (1) whether the individual has been convicted of, or is under pending indictment for a crime that bears upon said individual's ability or fitness to serve in that capacity, including any felony or misdemeanor that involved force, possession of a controlled substance or a sex-related offense;
 - (2) relevance of the records to the license sought;
 - (3) time since the conviction;
 - (4) age of the individual at the time of the offense;
 - (5) the number of offenses;
 - (6) the seriousness and specific circumstances of the offense;
 - (7) any relevant evidence of rehabilitation or lack thereof; and
 - (8) any other relevant information, including information submitted by the individual or requested by the organization.
- c. The applicant is to be notified of the Licensing Authority's decision and the basis for it in a timely manner.

8. PENALTIES

- a. Any applicant who submits false information to the Police Department, including a false identification of an applicant or his/her authorized agent or responsible manager, and/or violates the within Policy may be subjected to suspension or revocation of rights of their license by the Licensing Authority. Said revocation shall be initiated by the Licensing Authority by written notification of such intent to suspend or revoke, sent to the license holder. The Licensing Authority shall

hold a hearing upon such suspension or revocation. The hearing shall be commenced within two weeks of the notice of intent to suspend or revoke said privileges.

523704/DEDH/0001

EDIC

1 vacancy for a term until 6/30/21 (Jim Fox resigned effective 6/30/18).

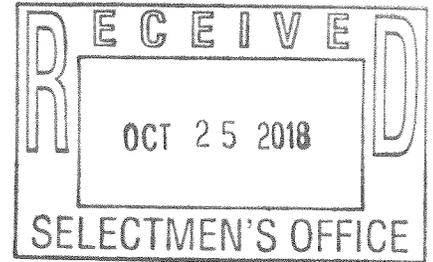
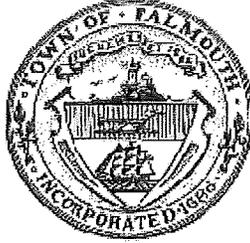
1 applicant: Patti Haney

Town Committee Vacancies

The Falmouth Board of Selectmen has announced the following vacancies on Town committees:

Committee	Term Until
Affirmative Action (1 position)	6/30/21
Agricultural Commission (1 position)	6/30/19
Affordable Housing Committee (1 position)	6/30/21
Board of Survey (2 positions)	6/30/21
Cable Advisory Committee (2 positions)	6/30/20, 6/30/21
Cape and Vineyard Electric Coop (1 position)	6/30/19
Coastal Pond Management Committee (1 position)	6/30/19
Commission on Disabilities (1 position, person with disability)	6/30/19
Community Preservation Committee (1 position)	6/30/21
Council on Aging (1 position)	6/30/21
Cultural Council (3 positions)	6/30/20, 6/30/21
EDIC (1 position)	6/30/21
Finance Committee (2 positions)	Until Nov. 2018 Town Meeting
Historical Commission (1 alternate position)	6/30/21
Human Services Committee (2 positions)	6/30/20, 6/30/21
Sign Review Committee (3 full positions, 2 alternate positions)	6/30/19, 6/30/21 & 6/30/20

Applications are available on the Town website www.falmouthmass.us, or in the Office of the Board of Selectmen, 59 Town Hall Square, Falmouth.



TOWN OF FALMOUTH

BOARD, COMMITTEE OR COMMISSION APPLICATION FORM

If you are interested in serving the Town of Falmouth in any capacity, please fill out this form and mail it to: The Board of Selectmen, Falmouth Town Hall, 59 Town Hall Square, Falmouth, MA 02540. Information received will be available to all Town Boards and Officials, although the filling out of this form does not assure appointment. If selected for an interview, you may wish to submit a resume or additional information. This form and a listing of all boards and committees can be found on the Falmouth website: www.falmouthmass.us.

Name: Patti Haney

Address: 192 Elm Rd Village: _____ ZIP: 02540

Mailing Address: above Village: _____ ZIP: _____

Telephone: [REDACTED] Email: [REDACTED]

How long have you been a Resident (date: 1991) / Taxpayer (date: 1991)

Amount of time you are available to give: 8 hrs monthly

Town Committee, Board or Commission you are interested in serving on:

1. EDIC
2. _____
3. _____

Seeking: Permanent Position Alternate Position _____

Relevant affiliation & work & personal experiences Helped develop the Gifford St. housing/Service Center Project, was board member on Fal. Housing Corp, housing rep. on CPC

Town offices held in Falmouth or elsewhere and dates of years served: _____

Falmouth Housing Authority Commissioner 1997-present
Falmouth CPC 2005-2015

Briefly describe the particular skills you feel you will add to the committee or board: _____

I have experience on many committees and boards in Falmouth. Knowledge of state/fed housing guidelines and community housing development

Three (3) References:

Name	Title	Phone
1. Susan Moran		[REDACTED]
2. Peter Clark		[REDACTED]
3. Pat Demarest		[REDACTED]

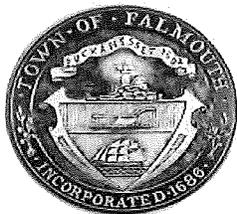
I hereby certify that I have been provided a summary of Massachusetts General Law 268A, the Conflict of Interest of Law, I have read the material provided, and to the best of my understanding have no potential or actual conflict of interest.

I have received a copy of the Board of Selectmen's Appointment Policy and read the material provided.

10/21/18
DATE

Patti Blaney
APPLICANT'S SIGNATURE

In the event the applicant cannot sign this statement, you should provide an explanation of the reason (s) why if you still wish consideration for appointment.



Town of Falmouth
Planning Department
59 Town Hall Square, Falmouth, MA 02540

To: Falmouth Board of Selectmen
Julian Suso, Town Manager

From: Thomas Bott, Town Planner

Date: October 26, 2018

RE: Town Planner Recommendation on Locustfield Estates LIP Application

The proposed LIP application for Locustfield Estates was discussed at the Development Staff Working Group and later at a second staff level with Daniel Maclone, the local builder and developer and Laura Moynihan his Attorney. The consensus of the group was the development was typical of suburban subdivision of three bedroom single family units though at a higher density through a Chapter 40B development. These units would add to the current Falmouth Housing stock that is 86% single family detached dwellings. There is broad consensus through various planning and housing studies that a key tool in increasing the number of affordable units is through density and a diversity of housing types. The proposed development of 12 single family detached units on 4.09 acres is on a narrow parcel of land that backs up to a utility easement on a single dead end street with a hammerhead turn around that opens onto an atypical intersection. The shape and location of the land limits much flexibility in design. The density of 3 units per acre (4.26/acre when you factor out the unbuildable open space area under the utility easement) is modest when compared to typical Comprehensive Permits. The "preserved" open space is within a utility easement that are generally restricted by the Utility as undevelopable.

In April 2007 the Office of Selectmen and Administrator [sic] developed a "Local Initiative Project Application Process Town of Falmouth Review Guidelines". In the interim the Town produced a 2009 Housing Production Plan, a September 2014 "Falmouth Housing Demand Study and Needs Analysis", and the Cape Cod Commission in June 2017 published "Regional Housing Market Analysis and 10 Year Forecast of Housing Supply and Demand" with Su Moran as a member of the Peer Review Committee. The Town of Falmouth has spent consider time, energy and money on updating its 2009 Housing Production Plan (HPP). The 2018 HPP is scheduled to be discussed and possibly approved by the Planning Board at their November 20, 2018 meeting with the Affordable Housing Committee. The November calendar with Election Day and Town Meeting precludes the Board from taking up the matter earlier that that date. The following step for the HPP would be the Board of Selectmen approving the Plan and submitting it to the Commonwealth for their approval.

Ms. Moynihan has advocated that the recommendation for the Board of Selectmen should be based on existing policy from 2007, however much housing and much study have been produced since 2007. Even based solely on the 2007 criteria below, the proposed development only scores well in 5 of 15 items noted below. **As such I would not recommend this development as a LIP project as it is currently proposed.** Even without the Selectmen's support the project may still proceed through standard channels as a 40B development.

Town Planner Recommendation on Locustfield Estates LIP Application

The draft Falmouth Housing Production Plan (HPP) does identify a need for three bedroom units but also notes the need for smaller and more diverse units that the market typically doesn't build. There is also a great need for rental units none of which this development would provide. Not surprisingly this comports with the other studies mentioned above.

Regional Housing Market Analysis and 10 Year Forecast of Housing Supply and Demand

Recommendation 3: (p. 145) Supply the Demand for Compact Urban Forms Single and two person households over 65 years of age is the demographic group that will dominate the Cape in the next 20 years. The demographic that the Cape's economy needs to attract now but doesn't have is young professionals between 25 and 35 years of age working in non-tourist sectors such as finance, technology, science and engineering. There is one common element that these two groups share: they are both demanding compact urban forms.

The CCC authors note <http://www.capecodcommission.org/index.php?id=216&maincatid=>

The high demand for seasonal units combined with a housing "monoculture" of single family homes constrains housing options for those looking to enter the market or downsize.

We recommend that Cape Codders plan for life stages through better urban design and consider planning for a housing product that doesn't exist," Said Michael Crane, President of Crane Associates. "Smaller, Cape Cod style units. Ideally in community centers, walkable to amenities, with storage, are needed for downsizing seniors and active young people.

Falmouth Housing Production Plan August 2018

Rental housing is the most significant need (p.71)

Both rental and ownership housing are needed to encourage a mix of housing types in response to diverse populations and household needs. There is, however, a more compelling case for rental units based on the following important considerations as rentals:

- Target the needs of the community's most vulnerable residents with very limited financial means as rental housing is typically more affordable and requires less up-front cash.
- Promote greater housing diversity as at least 86% of Falmouth's housing stock involves single-family detached homes. More housing options are necessary to meet the needs of local workers who are priced out of the housing market, people who grew up in Falmouth and want to raise their own families locally, and empty nesters, for example.
- Provide more appropriately sized units for increasing numbers of small households.
- Provide opportunities for some seniors who are "overhoused" and spending far too much on their housing to relocate to more affordable and less isolated settings, opening up their homes to families requiring more space.

New ownership opportunities are also in need (p.75)

Efforts to provide starter homes for first-time homebuyers and better housing alternatives to empty nesters should be promoted to address several objectives including:

- Provide opportunities for families who want to invest in Falmouth but are shut-out of the current housing market;
- Lend additional stability to neighborhoods as homeowners tend to become more rooted and invested in the community;

Town Planner Recommendation on Locustfield Estates LIP Application

- Enable children who were raised in the community to return to raise their own families locally;
- Provide housing options for municipal employees;
- Provide smaller homes for increasingly smaller families; and
- Offer more affordable housing alternatives to empty nesters who want to downsize, thus opening their existing homes to families.

Small clustered cottage-style housing in pocket neighborhoods could be pursued as well as other infill development, mixed-uses that include mixed-income condo development, the redevelopment/reuse of previously nonresidential properties, and the integration of housing in nonresidential areas offer good options for increasing affordable homeownership opportunities in Falmouth.

From the perspective of the 2007 document Review Guidelines

1. A Local Initiative Project shall have an enhanced public benefit determined by the Board of Selectmen and the Affordable Housing Committee (AHC).

- The AHC has endorsed the proposed development

2. Proposals with enhanced affordability will be reviewed more favorably, than those with no more than 25% affordability.

Enhanced housing affordability may include proposals for:

More affordable units within the development proposed
Conversion of existing dwelling units on or off site to affordable units
Contributions toward affordable housing funds or projects

- Only 25% of the units are affordable per the minimum required under Chapter 40B
- All development will be on a green field site not previously developed

3. Public benefits that positively influence favorability include a project that:

Is consistent with guidelines established for affordable housing

- Based on the 2007 criteria the development arguably meets 5 of 15 area i

4. Is open to a third party review of the Development Pro-forma by MassHousing preferred auditor

- MassHousing would not have a role in this LIP process as described by Atty Moynihan in reviewing the development

5. Creates mixed income development. LIP projects may include housing targeted below 70% Median Income, 120% of Median Income and market rate housing

- Development targeted at 80% AMI (Area Median Income)

6. Has a positive economic impact on the neighborhood and stimulates new investment in a distressed area

- Subjective but unlikely that this would be considered a distressed area. Some might argue that by constructing small houses 1,600 and 3 affordable units a case to be made that it creates workforce housing with resulting positive economic impacts

7. Contributes positively to the environment

- Subjective but unlikely

Town Planner Recommendation on Locustfield Estates LIP Application

8. Proposes a low fertilizer and low water consumption landscape design
 - The applicant proposed to use drought tolerant environmentally friendly plantings as well as lawn areas and foundation plantings
9. Is on the Town Sewer or includes nitrogen removal systems where applicable
 - The development is not on sewer and will employ a conventional septic system as it is not in an impacted area
10. Has Energy Star Rating
 - Energy Star appliance and heating system along with engineered building products made partially from recycled material and Low E insulated glass windows will be installed
11. Provides Handicapped Accessible/Visitable options offered when applicable
 - NA
12. Has architectural design, site planning and landscape design that relates to the neighborhood, and sustains or improves community character
 - Elevations show clapboard and shingled Capes
13. Located in a planning district with a lower percentage of affordable housing
 - ?
14. Provides other public benefits
 - ?
15. The LIP applicant is strongly encouraged to review the proposed project with neighbors and planning district village association.
 - The applicant has indicated that he has spoken with the abutters to the property

CC: Peter Johnson-Staub Assistant Town Manager
Carla Feroni, Housing Coordinator
Edward Curley, Chairman, Affordable Housing Committee



TOWN OF FALMOUTH
Office of the Town Manager & Selectmen
59 Town Hall Square, Falmouth, Massachusetts 02540

**TO: Board of Selectmen
Town Manager**

FROM: Peter Johnson-Staub, Assistant Town Manager

SUBJECT: Locustfield Estates LIP Application

DATE: October 26, 2018

PJS

Town Planner Tom Bott has provided the Board with a memo which summarizes this LIP application and provides commentary on the proposal as it relates to the Review Guidelines adopted by the Board of Selectmen in 2007. Mr. Bott and I have discussed this application extensively with Housing Coordinator Carla Feroni and ZBA Administrator Sari Budrow. We also received input from Conservation, Health and Fire Departments. I concur with most of the analysis provided by Mr. Bott but come to a different conclusion. There are conflicting policy objectives and many subjective interpretations involved in this determination and the difference of opinion does not in any way reflect a lack of respect for Mr. Bott or his conclusion.

The Board's decision to endorse a LIP application comes down to a determination as to whether the project provides sufficient community benefit to warrant a Board of Selectmen endorsement. I suggest the net result of approving this application is likely better than the potential outcomes if the LIP application is not approved.

Affordability:

- The modest size of the units – 1,600 habitable square feet – will help to limit the sale price of market units at initial sale and in the future through re-sale. This increases the likelihood that this new housing will be affordable to working families and couples.
- The location will also limit the sale price of the market rate units as it is not close to downtown, beaches or shops. This location is also not ideal for low income populations (30%-50% of Area Median Income) but is more suitable for the 80% AMI units planned and for individuals slightly above AMI.
- A LIP project requires MA Department of Housing and Community Development (DHCD) certification of the project financials to ensure that the developers profits are limited as required by applicable regulation and the LIP application. This oversight helps keep down the sale price of the market rate units – though there is no limit on re-sale pricing. With a traditional 40b comprehensive permit, oversight is through MassHousing which does not provide the same level of financial scrutiny.

Density:

- We understand most abutters would prefer the least density possible. However, we have an acute shortage of housing supply in the region -- market rate and affordable; home ownership and rental. To address these housing needs we need to consider increased density in the few tracts of remaining developable land and when there are opportunities to re-develop built

environments. This application includes what I suggest is a reasonable level of density and the houses are concentrated on the front of the parcel leaving a significant portion of the parcel undeveloped. True, the undeveloped portion cannot be built due to a utility easement but that is beyond the control of the applicant. Selectmen endorsement of the application communicates to the Zoning Board of Appeals that this density is needed and desirable.

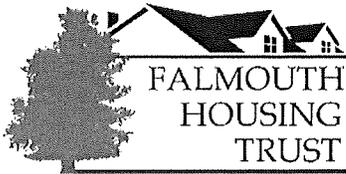
Urgency:

- Selectmen endorsement will hopefully lead to creation of this badly needed housing which is proposed to be constructed in phases over 3 years. The developer, Mr. Maclone, can pursue other options to develop this land if the application is denied. Without a LIP approval, Mr. Maclone could construct a greatly reduced number of units without any affordable units. Or, he could pursue a traditional 40b comprehensive permit with financing through MassHousing. The latter option could result in a delay of a year or more. With construction costs and interest rates rising a delay of a year could turn into a delay of a decade if market conditions decline.

For these reasons, I recommend approval of this application. The Board may want to consider requiring the applicant to make one or more of the following modifications to improve the community benefit, all of which have been mentioned to the applicant by staff:

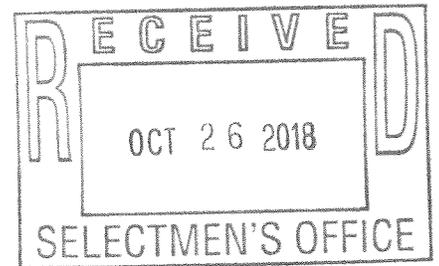
- Change one of the market rate 3-bedroom homes to a duplex each with 2 bedrooms;
- Make one of the affordable units accessible and another unit visitable;
- Use a pervious material for the driveways to improve drainage;

CC: Julian Suso, Town Manager
Thomas Bott, Town Planner
Carla Feroni, Housing Coordinator
Sari Budrow, ZBA Administrator



October 26, 2018

Board of Selectmen
Town of Falmouth
59 Town Hall Square
Falmouth, MA 02540



Board of Directors

Joanne O'Sullivan, *President*
Kevin McCarthy- *Vice President*
Susan Roman, *Treasurer*
Joan Bates, *Secretary/Clerk*
Addie M. Drolette, *Immediate Past President*

David Garrison
Heather Harper
Mark St. Jean
Tammy Rausch
Troy Clarkson

Executive Director

Karen L. Bissonnette, CFRE

Falmouth Housing Trust
P.O. Box 465
Falmouth, MA 02541
Tel. (508) 540-2370
FalmouthHousingTrust.org
Tax ID: 04-2936558

Re: LIP Application of Locustfield Estates LLC – 0 Locustfield Road

Dear Board Members:

We understand that the Board of Selectmen will be considering this Local Initiative Program (“LIP”) Application at its meeting on October 29, 2018.

The LIP Program is an excellent opportunity for the Town to work with local developers and others to create attractive housing in neighborhood settings that can provide for affordable homes without Town or state funding being required. Developers can finance the construction without a financial subsidy from the Town or State, allowing such funds to be used elsewhere for other affordable housing projects. The LIP Program can also provide for market rate housing that is affordable by its nature to many people as work force housing within well designed neighborhoods. The oversight of a LIP project by the Department of Housing and Community Development through its technical assistance, cost certifications and overall monitoring and regulation is also a significant benefit to the Town as it relieves the Town of these monitoring issues and can free up resources, employee and otherwise, to devote to other affordable housing projects and meeting other affordable housing objectives.

I understand that the Affordable Housing Committee (“AHC”) has reviewed the Locustfield Estates LLC project and has given its support for the project. The need for affordable 3 bedroom homes for sale in Falmouth for families is well-known. The Falmouth Housing Trust appreciates the need for rental housing as well in our community. However, home ownership for families in the 80% median income range also should be of utmost importance within our goal to create more affordable housing. Individuals, particularly younger people, living in rentals in our community are looking for the next step of home ownership, which contributes to a greater sense of long-term investment in the community. These affordable restricted homes or affordable market rate homes within attractive neighborhoods will provide a sense of place and community. We understand that the Locustfield Estates project will provide such a neighborhood.

I am hopeful that the Board of Selectmen will support the endorsement of this project as well as the benefits the Local Initiative Program can bring to our community.

Sincerely,

Joanne O'Sullivan
President

LAURA M. MOYNIHAN
Attorney at Law

17 Academy Lane, Suite 1
Falmouth, Massachusetts 02540
Telephone: 508-548-5558
Fax: 508-548-5553
Email: laura@lmoynihanlaw.com

August 29, 2018

Board of Selectmen
Town of Falmouth
59 Town Hall Square
Falmouth, MA 02540

**Re: Locustfield Estates-Proposed Affordable Housing Development
at 0 Locustfield Road-LIP Application**

Dear Board Members:

I represent Mr. Daniel Maclone. Mr. Maclone is a local builder and housing developer.

Mr. Maclone is proposing an affordable housing development on a 4.09 acre site off Locustfield Road. The project is comprised twelve single family detached homes, each with three bedrooms, two and a half bathrooms and a garage. Of the twelve homes proposed, three will be dedicated as affordable units for sale to households earning no more than 80% of median income for Barnstable County. Nine units will be dedicated as market rate units. Each of the homes will be situated on separate Lots. Open space for the subdivision is proposed at 31%.

Mr. Maclone intends to apply the Department of Housing and Community Development (DHCD) for approval as a Local Initiative Program (LIP) comprehensive permit project. Enclosed is the LIP Application. Mr. Maclone is requesting Town endorsement of the LIP application on page 2 for filing with DHCD.

The Falmouth Affordable Housing Committee has reviewed and voted its support for the project. The Committee's letter dated July 27, 018 is enclosed.

Mr. Maclone and I would appreciate if you would schedule our presentation of the project before your Board as soon as possible.

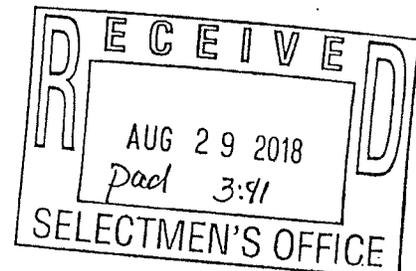
Thank you.

Sincerely,


Laura M. Moynihan

LMM/dms
Encls.

cc: Dan Maclone



July 27, 2018

To: Susan Moran, Falmouth Board of Selectmen

Cc: Tom Bott; Sari Budrow; Carla Feroni; Peter Johnson Staub; Russ Robbins; Julian Suso

Re: New 40B Development on Locustfield Road

Dear Chairman Moran and Selectmen:

The Affordable Housing Committee (AHC) viewed a conceptual presentation on June 28, 2018, by Daniel MacLone, a local architectural designer and builder, regarding the above-referenced proposed 40B development in Falmouth. The plan was reviewed a second time at our AHC meeting on July 19, 2018. We had an opportunity to ask many questions of Mr. MacLone and his associates after each presentation, all of which were answered to our satisfaction. We are pleased to provide our endorsement for this proposed "Locustfield" development, and we hope that it will receive town support.

The project will consist of 12 new 3-bedroom homes, three of which will be priced as affordable (around \$195K) and nine of which will be market rate (around \$400K). As you know, Falmouth is in great need of an increase in affordable housing. We were impressed by the design of the homes, the community setting of the project, and the fact that there will be no distinction (other than price) between the affordable and the market-rate homes. There will be a lottery for the three affordable units and preference will be given to Falmouth residents. The project will be built in three phases, with one affordable home available along with three market-rate homes in each phase. The relatively small size of the homes (about 1,600 square feet, with a one-car garage and a deck in the back) – plus the location of the master bedroom and master bath on the first floor – should make these homes attractive to seniors and to empty-nesters looking to down-size while remaining in town, which is another housing option in short supply in Falmouth.

Thank you in advance for your consideration of our AHC support for this project.

Respectfully submitted on behalf of the Affordable Housing Committee,

Edward Curley, Chair

MASSACHUSETTS
Department of Housing & Community Development
Local Initiative Program

Locustfield Estates

A Local Initiative Program Project
Lot 2, 0 Locustfield Road, East Falmouth, Massachusetts 02536

PROJECT DESCRIPTION

The project proposes construction of twelve (12) dwelling units on a 4.09 acre site at 0 Locustfield Road (lot 2), East Falmouth, Massachusetts. Three (3) affordable units are proposed and nine (9) market units are proposed. All units will have three (3) bedrooms.

Each dwelling unit will be situated on a separate lot. Lot sizes range from 6470 square feet to 9200 square feet.

The project site is located on the westerly side of Locustfield Road, a public way, in the Town of Falmouth. The site is bordered on the north by residential land with an existing house, on the west by land owned by the Town of Falmouth, and on the south by residential land with an existing house.

The project site is currently vacant undeveloped land. The site is situated within a residential neighborhood. Pedestrian access to recreational amenities is available within a short walking distance from the site at the Falmouth High School.

Three (3) of the proposed units will be sold as affordable units to homebuyers earning no more than 80% of the median income for Barnstable County, and nine (9) of the proposed units will be sold at market rate. All units will have three (3) bedrooms. Each unit will have garage and driveway.

The proposed total square footage for each dwelling is 1948 square feet, with 1598 square feet of habitable living area and 330 square feet of garage space. All units will provide three (3) bedrooms and 2.5 bathrooms, kitchen, living/dining area, and outdoor space/deck, and a garage. The market and affordable units will each contain a garage, and will contain two (2) floors of

finished habitable living area, with 848 square feet on the first floor and 750 square feet on the second floor.

The building construction will be wood construction in traditional Cape Cod architectural style with white trim. Heating systems will be served by gas.

All Falmouth Zoning Bylaw requirements will be met for the project, except for lot size, frontage, lot coverage by structures, and front yard setbacks. All Zoning Bylaw requirements as to side and rear yard setbacks, building height and flood zone requirements will be met. A comprehensive permit will be required from the Falmouth Zoning Board of Appeals.

Two (2) parking spaces will be available for each unit of the project, one (1) in the garage and at least one (1) in the driveway. Lot coverage for buildings is proposed at between 15.1% and 21.5% for structures, and between 17% and 25.5% for structures, parking and pavement within each lot. An area of subdivision open space is designated at 55,360 square feet, or 31% of the overall subdivision land.

The project will be served by municipal water. Gas and electric utilities are proposed for the project, which will be available for connection within Locustfield Road. Each dwelling will be serviced by a private Title V Septic System.

The project will follow Sustainable Development Principles adopted by Governor Patrick's Administration in 2007. The Massachusetts Department of Housing and Community Development encourages housing development that is consistent with sustainable development design and green building practices. The development is compact and conserves land and utilizes existing water infrastructure, and existing public ways, rather than requiring new water systems or roadways. The project will protect open space on site and increase the quantity of open space for the Town. The location of the housing provides recreational opportunities for the residents, particularly given the close proximity to the High School. The project will expand housing opportunities that are compatible with the character of the community, while providing new housing choices for people of all means. The project supports the implementation of the local and regional affordable housing and open space preservation plans. In addition, Energy Star appliances and heating system will be utilized, along with engineered building products made partially from recycled materials. Low E insulated glass windows will be installed. Landscaping will be installed with drought tolerant environmentally friendly plantings. Landscaping will consist of lawn areas and foundation plantings.

MASSACHUSETTS
 Department of Housing and Community Development
Local Initiative Program
Application for Comprehensive Permit Projects

INSTRUCTIONS

Please submit three copies of the application and attachments. Note: only one set of site plan and sample elevations (attachments 11 and 12 noted on page 22) are required. An application fee, payable to the Department of Housing and Community Development, shall be submitted with the application. The schedule of fees is as follows:

	Project Fee	plus	Per Unit Fee
Municipality	\$1,000		\$30
Non-Profit	\$1,750		\$40
All Others	\$4,000		\$50

Mail to:

Local Initiative Program
Department of Housing & Community Development
100 Cambridge Street, Suite 300
Boston, MA 02114
Attn: Alana Murphy, Deputy Associate Director

To complete the application electronically, simply position your cursor on a line and type. Use the tab key to move between questions.

If you have any questions, please refer to the DHCD 40B Guidelines, specifically Section VI. For further assistance, contact Alana Murphy at 617-573-1301 or alana.murphy@state.ma.us.

NOTE: For Rental Projects, to complete information on Project Feasibility (Section X), go to the One Stop Application at <http://www.mhic.com> and complete Section 3 Sources and Uses and Section 4 Operating Pro Forma. Submit the sections with the Application

Application Contents:

- | | |
|------------------------------------|-------------------------------------|
| I. General Information | VIII. Surrounding Area |
| II. Community Support | IX. Financing |
| III. Municipal Contact Information | X. Project Feasibility |
| IV. Development Team | XI. Development Schedule |
| V. Project Information | XII. Marketing Outreach and Lottery |
| VI. Site Information | XIII. Checklist of Attachments |
| VII. Design and Construction | |

January 2016

MASSACHUSETTS
 Department of Housing & Community Development
Local Initiative Program
Application for Comprehensive Permit Projects

I. GENERAL INFORMATION

Community: FALMOUTH
 Name of Development: LOCUSTFIELD ESTATES
 Site Address: 0 LOCUSTFIELD ROAD (LOT 2) EAST FALMOUTH MA
02536
 Developer: LOCUSTFIELD, LLC, a Massachusetts limited liability
company

1. Type of Housing:
 Single Family house Rental
 Condominium Age Restricted

2. Project Characteristics:
 New Construction Conversion
 Rehabilitation Other

3. Total Acres 4.09 Density of Project (units/acre) 3/acre

4. Unit Count:
 Total Number of Units 12
 Market Rate 9
 Affordable 3

5. Unit Prices/Rents:
 Market Rate \$195,000
 Affordable \$415,000

Required Signatures for the
 Comprehensive Permit Project Application

Chief Executive Official of Municipality:	Chair, Local Housing Partnership (if applicable):
Signature: _____	Signature: _____
Print Name: <u>Locustfield, LLC, by</u> <u>Its Manager, Daniel MacLone</u>	Print Name: _____
Date: _____	Date: _____

II. COMMUNITY SUPPORT

1. Letter of Support from Municipality - Attach a letter containing a short narrative on the basics of the project, the history of the project, the ways in which the community is providing support, and how the development team has addressed any concerns the community has. The letter must be signed by the chief elected official of the community.

2. Letter of Support from Local Housing Partnership - If the community has a housing partnership, please attach a letter from them indicating their support for the project. The letter should summarize how the partnership has been working with the developer.

3. Local Contributions - Check off all that apply and provide a brief description at the end.

- Land donation (dollar value _____)
- Building donation (dollar value _____)
- Marketing assistance
- Other work by local staff
- Density increase
- Waiver of permit fees
- Other regulatory or administrative relief (specify) _____
- Local funds (cash)
Amount \$ _____ Source: _____
- HOME funds
- Agreement by a lender to provide favorable end-loan financing (ownership projects only)
Other (specify _____)

Briefly explain the contributions: _____

4. Municipal Actions and Local Plans - Briefly describe how the project fits with any planning the community has done (e.g. master plan, community development plan, affordable housing plan) and other local land use and regulatory actions that provide the opportunity for affordable housing (including multi-family and overlay districts, inclusionary zoning by-laws and ordinances).

Affordable Housing Action Plan-See Narrative attached.

III. MUNICIPAL CONTACT INFORMATION

Chief Elected Official

Name Board of Selectmen
Address 59 Town Hall Square, Falmouth, MA 02540
Phone 508-495-7320
Email selectmen@falmouthmass.us

Town Administrator/Manager

Name Julian Suso
Address 59 Town Hall Square, Falmouth, MA 02540
Phone 508-495-7320
Email jsuso@falmouthmass.us

City/Town Planner (if any)

Name Tom Bott
Address 59 Town Hall Square, Falmouth, MA 02540
Phone 508-495-7320
Email tbott@falmouthmass.us

City/Town Counsel

Name Frank K. Duffy, Jr., Esq.
Address 157 Locust Street, Falmouth, MA 02540
Phone 508-548-8800
Email towncounsel@falmouthmass.us

Chairman, Local Housing Partnership (if any)

Name Affordable Housing Committee
Address 59 Town Hall Square, Falmouth, MA 02540
Phone 508-548-7611
Email _____

Community Contact Person for this project

Name Carla Feroni, Affordable Housing Coordinator
Address 59 Town Hall Square, Falmouth, MA 02540
Phone 508-548-7611
Email cferoni@falmouthmass.us

IV. DEVELOPMENT TEAM INFORMATION (include all development members)

Developer

Name Locustfield LLC
Address 150 Timothy Bourne Cartway, East Falmouth, MA 02536
Phone 774-836-5550
Email maclone@aol.com
Tax ID _____

Contractor

Name Daniel MacLone
Address S150 Timothy Bourne Cartway, East Falmouth, MA 02536
Phone 774-836-5550
Email maclone@aol.com
Tax ID _____

Architect

Name _____
Address _____
Phone _____
Email _____
Tax ID _____

Engineer

Name Falmouth Engineering, Inc.
Address 17 Academy Lane, Falmouth, MA 02540
Phone 508-495-1225
Email mike@falmouthengineering.com
Tax ID _____

Attorney

Name Laura M. Moynihan, Esq.
Address 17 Academy Lane, Suite 1, Falmouth, MA 02540
Phone 508-548-5558
Email laura@lmoynihanlaw.com
Tax ID _____

Housing Consultant

Name _____
Address _____
Phone _____
Email _____
Tax ID _____

Marketing/Lottery Agent

Name _____
Address _____
Phone _____
Email _____
Tax ID _____

TEAM EXPERIENCE – DEVELOPER/CONTRACTOR QUALIFICATIONS

Complete the charts on the following pages for all housing projects undertaken by the developer and the contractor during the past five years. Include projects currently in construction. Provide owner references for each project, including a current phone number. Alternatively, a resume outlining the experience that covers the items listed on the chart below may be submitted.

1. Developer: Daniel MacLone, principal of Locustfield, LLC

Project Summary	Project #1	Project #2	Project #3	Project #4
Project Name:	Hydrangea Subdivision	Menauhant Beach Condominium	Wohelo	Ovington
Community Address:	Hydrangea Circle, East Falmouth	4 Central Ave, East Falmouth	3 Wohelo, North Falmouth	11 Ovington, East Falmouth
Housing Type:	Single Family	Single Family Condo	Single Family	Single Family
Number of Units:	8	4	1	1
Total Development Costs:	\$4,500,000	\$1,200,000	\$480,000	\$360,000
Subsidy Program (if applicable):	N/A	N/A	N/A	N/A
Date Completed:	Pending At 60% completion	Pending At 50% Completion	Pending At 90% Completion	Pending At 60% Completion
Reference: Name and Telephone #:				

2. Contractor: Daniel MacLone, Builder

Project Summary	Project #1	Project #2	Project #3	Project #4
Project Name:	Jaye Residence	Nickerson Street	Lakeshore	Sidewinder
Community Address:	4 Thomas Lane Falmouth	50 Nickerson Street East Falmouth	94 & 110 Lakeshore Drive, East Falmouth	16and26 Sidewinder Dr, East Falmouth
Housing Type:	Single Family	Single Family	Single Family	Single Family
Number of Units:	1	1	2	2
Total Development Costs:	\$1,200,000	\$460,000	\$700,000	\$680,000
Subsidy Program (if applicable):	N/A	N/A	N/A	N/A
Date Completed:	2016	2017	2017	2016
Reference: Name and Telephone #:	Michael Jaye 617-571-2006			

3. Other Chapter 40B Experience

Have you or any members of your team had previous Chapter 40B experience with DHCD and/or other subsidizing agencies? Yes No
 If yes, please explain. Laura M. Moynihan, Attorney, has had previous experience with 40B developments within Falmouth, including but not limited to, for the Falmouth Housing Corporation and Falmouth Housing Trust (e.g. Esker Place-LIP; Veteran's

Park-LIP; Little Pond Place –LIP; Ward/Chester Housing –LIP; Holly Park
Condominiums-LIP, Gifford Street Housing)

4. Bankruptcy / Foreclosure

Have you or any entities you control ever filed for bankruptcy or have had a property foreclosed? Yes No

If yes, please explain. _____

DEVELOPER CERTIFICATION

The undersigned hereby certifies that he/she is Manager _____ (Title) of Locustfield, LLC _____ (Legal Name of Applicant) and that the information requested below for the project known as Locustfield Estates _____ (Project Name) is complete and that all information contained in this application is true and correct to the best of his/her knowledge. The undersigned Developer agrees to execute DHCD model documents, as required. If the Developer is other than a non profit corporation or public entity, the Developer hereby certifies that it shall comply with all reporting requirements described in 760 CMR 56.00 and as set forth in the LIP Guidelines.

Signature of Developer _____

Print Name: _____

Date _____

V. PROJECT INFORMATION

1.	Type of Housing:	Total Number of Units
	Single-Family House	<u>12</u>
	Condo	_____
	Rental	_____
	Other	_____

2. Total Number of Units Affordable 3 Market 9

3.	Project Style:	Total Number of Units
	Detached single-family house	<u>12</u>
	Rowhouse/townhouse	_____
	Duplex	_____
	Multifamily house (3+ family)	_____
	Multifamily rental building	_____
	Other (specify)	_____

4. Is this an age-restricted (55+) Development? Yes No
 If yes, please submit a marketing study that demonstrates an understanding of the region's demographics, market demand and the particular strategies necessary to attract buyers to both market and affordable units.

5. Estimate the percentage of the site used for:
 Buildings 9.38% Parking & Paved Areas 9.7%
 Usable Open Space 31% Unusable Open Space 0

6. Is any portion of the project designed for non-residential use? no
 If yes, explain the non-residential uses. _____

7. Sustainable Development Design and Green Building Practices

In accordance with the Sustainable Development Principles adopted by Governor Patrick's Administration in 2007, DHCD encourages housing development that is consistent with sustainable development design and green building practices. For more information, see Appendix VI.A-1 and VI.B-1 of the 40B Guidelines for a list of links to resources and opportunities related to sustainable development.

A. How will this development follow Sustainable Development Principles? The development is compact and conserves land and utilizes existing water infrastructure and existing public roadways, rather than requiring new water systems or new roadways. The project is located in a residential area. The project protects open space on site and increases the quantity of open space for the Town. The location of the housing provides recreational opportunities for the residents. The project will expand housing opportunities that are compatible with the character of the community while providing new housing choices for people of all means. The project supports the implementation of the local and regional affordable housing and open space preservation plans.

B. How will the project maximize energy efficiency and meet Energy Star Standards? Energy Star appliances and heating system will be utilized along with engineered building products made partially from recycled materials. Low E insulated glass windows will be installed. Landscaping will be installed with drought tolerant environmentally friendly plantings.

C. What elements of "green design" are included in the project (e.g. reduction of energy and water consumption, increasing durability and improving health)?
See B Above.

8. Project Eligibility

A. Have you ever applied for a project eligibility letter involving any portion of the site, or are you aware of any prior application for a project eligibility letter involving any portion of the site?

Yes No If yes, explain.

B. Has the municipality denied a permit on another proposal for this site within the last 12 months? Yes No

9. Outstanding Litigation

Is there any outstanding litigation relating to the site? Yes No
If yes, explain.

10. Unit Composition

Complete the chart below. Include a separate entry for each unit type according to its square foot/age and/or sales price/rent.

Type of Unit	# of Units	# of Bdrms	# of Baths	Gross Sq. Ft.	# of Parking Spaces	Sales Price/Rent	Condo Fee	Handicap Accessible
Affordable	<u>3</u>	<u>3</u>	<u>2.5</u>	<u>1928*</u>	<u>2+</u>	_____	_____	<input type="checkbox"/> # _____
	_____	_____	_____	_____	_____	_____	_____	<input type="checkbox"/> # _____
	_____	_____	_____	_____	_____	_____	_____	<input type="checkbox"/> # _____
	_____	_____	_____	_____	_____	_____	_____	<input type="checkbox"/> # _____
Market	<u>9</u>	<u>3</u>	<u>2.5</u>	<u>1928*</u>	<u>2+</u>	_____	_____	<input type="checkbox"/> # _____
	_____	_____	_____	_____	_____	_____	_____	<input type="checkbox"/> # _____
	_____	_____	_____	_____	_____	_____	_____	<input type="checkbox"/> # _____
	_____	_____	_____	_____	_____	_____	_____	<input type="checkbox"/> # _____
Other	_____	_____	_____	_____	_____	_____	_____	<input type="checkbox"/> # _____
	_____	_____	_____	_____	_____	_____	_____	<input type="checkbox"/> # _____

*includes 330 square feet of garage space (habitable floor area for affordable and market dwelling is 1598 square feet).

VI. SITE INFORMATION

1. Total Acreage 4.09 acres Total Buildable Acreage 4.09 acres

2. Describe the current and prior uses of the subject site:

Vacant

Land _____

Existing buildings on site? Yes No

If yes, describe plans for these buildings:

3. Current Zoning Classification:

Residential AGA (minimum lot size) 45,000 SF

Commercial _____ Industrial _____ Other _____

4. Does any portion of the site contain significant topographical features such as wetlands?

Yes No If yes, how many acres are wetlands? _____

If yes, attach map of site noting wetland areas.

Is map attached? Yes No

5. Is the site located within a designated flood hazard area?

Yes No

If yes, please attach a map of the site with flood plain designations.

Is map attached? Yes No

6. Is the site or any building located on the site listed, nominated or eligible for listing on the National Register of Historic Places? Yes No

7. Is the site within a Historic District? Yes No

If yes, describe the architectural, structural and landscape features of the area:

8. In the past three years, have there been any defaults on any mortgage on the property or any other forms of financial distress?

Yes No If yes, please explain: _____

9. Indicate which utilities are available to the site:

Public Sewer	<input type="checkbox"/>	Private Septic	<input checked="" type="checkbox"/>	Public Streets	<input checked="" type="checkbox"/>
Public Water	<input checked="" type="checkbox"/>	Private Wells	<input type="checkbox"/>	Private Ways	<input type="checkbox"/>
Natural Gas	<input checked="" type="checkbox"/>	Electricity	<input checked="" type="checkbox"/>		
On-site Sewer Treatment Facility	<input type="checkbox"/>				
Other	<input type="checkbox"/>	Explain:	_____		

10. Describe any known or suspected hazardous waste sites on or within a 1/2 mile radius of the project site. N/A

11. Has a 21E hazardous waste assessment ever been done on this site? If so, attach a summary of the filing. Yes No

12. What waivers will be requested under the comprehensive permit? Lot size; Front Yard Setback; frontage, lot coverage by structure.

13. Describe the current status of site control and attach copies of relevant deeds or executed agreements.

A. Owned by Developer _____

B. Under Purchase and Sale Agreement _____

C. Under Option _____

Seller: _____ Buyer: _____

Is there an identity of interest between the Buyer and Seller? If yes, please explain:
NO

Date of Agreement _____ Expiration Date _____

Extensions granted? Yes No Date of Extension _____

Purchase Price \$_____

VII. DESIGN AND CONSTRUCTION

1. **Drawings**

Please submit one set of drawings.

Cover sheet showing written tabulation of:

- Proposed buildings by design, ownership type, and size. Identity and describe affordable units and handicapped accessible units.
- Dwelling unit distribution by floor, size, and bedroom/bath number
- Square footage breakdown of commercial, residential, community, and other usage in the buildings **N/A**
- Number of parking spaces

Site plan showing:

- Lot lines, streets, and existing buildings
- Proposed building footprint(s), parking (auto and bicycle), and general dimensions
- Zoning restrictions (i.e. setback requirements, easements, height restrictions, etc).
- Wetlands, contours, ledge, and other environmental constraints **N/A**
- Identification of affordable units
- Identification of handicapped accessible units. **N/A**
- Sidewalks and recreational paths
- Site improvements, including landscaping
- Flood plain (if applicable)

Utilities plan showing:

- Existing and proposed locations and types of sewage, water, drainage facilities, etc.

Graphic depiction of the design showing:

- Typical building plan
- Typical unit plan for each unit type with square footage tabulation
- Typical unit plan for each accessible unit type with square footage tabulation **N/A**
- Elevation, section, perspective, or photograph
- Typical wall section

2. **Construction Information**

<u>Foundations</u>	# Mkt. Units	# Aff. Units	Attic	# Mkt. Units	# Aff. Units
Slab on Grade	_____	_____	Unfinished	<u>9</u>	<u>3</u>
Crawl Space	_____	_____	Finished	_____	_____
Full Basement	<u>9</u>	<u>3</u>	Other	_____	_____
<u>Exterior Finish</u>	# Mkt. Units	# Aff. Units	Parking	# Mkt. Units	# Aff. Units
Wood	<u>9</u>	<u>3</u>	Outdoor	_____	_____
Vinyl	_____	_____	Covered	_____	_____
Brick	_____	_____	Garage	<u>9</u>	<u>3</u>
Fiber Cement	_____	_____	Bicycle	_____	_____
Other	_____	_____			

Heating System

Fuel: Oil Gas Electric Other

Distribution method (air, water, steam, etc.): Air _____

Energy Efficient Materials

Describe any energy efficient or sustainable materials used in construction:
See Section V.7 above.

Modular Construction

If modular construction will be used, explain here:

Amenities

Will all features and amenities be available to market buyers also be available to affordable buyers? If not, explain the differences.

Yes

VIII. SURROUNDING AREA

1. Describe the land uses in the surrounding neighborhood: Residential and Public Use (High School) Recreational/Park Area

2. What is the prevailing zoning in the surrounding neighborhood?
Residential/Agricultural

3. How does the project's proposed site plan and design relate to the existing development pattern(s) of the immediately surrounding area?
Similar in scale and suitable to residential neighborhood.

4. Describe and note distances to nearby amenities and services such as shopping, schools, parks and recreation, or municipal offices.
Schools & Athletic Fields & surrounding public woodland areas within ¼ mile; Public Beaches, Recreation, Bike Path, Village Retail and other services within downtown Falmouth- 1 ±

5. Explain how developing the site contributes to smart growth development in the area (e.g. mixed use, reuse, concentrated development).
Concentrated development, preservation of open space, utilizes existing infrastructure for water and roadways.

6. Is the site located near public transit (bus, subway, commuter rail, etc.)? If so, indicate the type, distance to the nearest stop, and frequency of service.
No.

IX. FINANCING

1. Attach a letter of interest from a construction lender.

Are there any public funds to be used for this project? If yes, indicate the source, amount, use and status of funds:

N/A _____

Describe the form of financial surety to be used to secure the completion of cost certification for this project **Bond or Letter of Credit or Cash Amount.**

X. PROJECT FEASIBILITY

The section is for developers of home ownership projects.

Developers of multi-family rental projects must use the One Stop Application at <http://www.mhic.com> and complete Section 3 Sources and Uses and Section 4 Pro Forma.

Ownership Pro Forma

	Total Costs	Per Unit	Per Sq. Ft.	% of Total
(a) Site Acquisition	<u>\$225,000</u>	<u>\$18,750</u>	<u>\$9.73</u>	<u>0.57%</u>
Hard Costs:				
Earth Work	<u>\$375,000</u>	<u>\$31,250</u>	<u>\$16.21</u>	<u>9.59%</u>
Site Utilities	<u>\$46,000</u>	<u>\$3,833</u>	<u>\$1.98</u>	<u>1.10%</u>
Roads & Walks	<u>\$48,000</u>	<u>\$4,000</u>	<u>\$2.07</u>	<u>1.20%</u>
Site Improvement	<u>\$18,000</u>	<u>\$1,500</u>	<u>\$0.78</u>	<u>0.04%</u>
Lawns & Planting	<u>\$168,000</u>	<u>\$14,000</u>	<u>\$7.26</u>	<u>4.30%</u>
Demolition	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>0.00%</u>
Unusual Site Conditions	<u>\$10,000</u>	<u>\$833</u>	<u>\$0.43</u>	<u>3.00%</u>
(b) Total Site Work	<u>\$665,000</u>	<u>\$55,416</u>	<u>\$28.24</u>	<u>17.00%</u>
Concrete	<u>\$216,000</u>	<u>\$18,000</u>	<u>\$9.34</u>	<u>5.50%</u>
Masonry	<u>\$60,000</u>	<u>\$5,000</u>	<u>\$2.59</u>	<u>1.50%</u>
Metals	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>0.00%</u>
Carpentry	<u>\$612,000</u>	<u>\$51,000</u>	<u>\$26.45</u>	<u>15.70%</u>
Roofing & Insulation	<u>\$132,000</u>	<u>\$11,000</u>	<u>\$5.71</u>	<u>3.40%</u>
Doors & Windows	<u>\$108,000</u>	<u>\$9,000</u>	<u>\$4.67</u>	<u>2.80%</u>
Interior Finishes	<u>\$336,000</u>	<u>\$28,000</u>	<u>\$14.52</u>	<u>8.60%</u>
Cabinets & Appliances	<u>\$120,000</u>	<u>\$10,000</u>	<u>\$5.19</u>	<u>3.00%</u>
Plumbing & HVAC	<u>\$384,000</u>	<u>\$32,000</u>	<u>\$16.60</u>	<u>9.80%</u>
Electrical	<u>\$168,000</u>	<u>\$14,000</u>	<u>\$7.26</u>	<u>4.30%</u>
(c) Total Construction	<u>\$2,136,000</u>	<u>\$178,000</u>	<u>\$132.09</u>	<u>78.20%</u>
(d) General Conditions	<u>\$30,000</u>	<u>\$2,500</u>	<u>\$1.30</u>	<u>0.77%</u>
(e) Subtotal Hard Costs (a+b+c+d)	<u>\$3,056,000</u>	<u>\$254,666</u>	<u>\$132.09</u>	<u>78.20%</u>
(f) Contingency	<u>\$122,240</u>	<u>\$10,186</u>	<u>\$5.28</u>	<u>3.10%</u>
(g) Total Hard Costs (e+f)	<u>\$3,178,240</u>	<u>\$264,853</u>	<u>\$137.37</u>	<u>81.30%</u>

Soft Costs:

Permits/Surveys	<u>\$72,000</u>	<u>\$6,000</u>	<u>\$3.11</u>	<u>1.80%</u>
Architectural	<u>\$9,000</u>	<u>\$750</u>	<u>\$0.39</u>	<u>0.02%</u>
Engineering	<u>\$68,000</u>	<u>\$5,667</u>	<u>\$2.94</u>	<u>1.70%</u>
Legal	<u>\$30,000</u>	<u>\$2,500</u>	<u>\$1.30</u>	<u>0.76%</u>
Bond Premium	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>0.00%</u>
Real Estate Taxes	<u>\$28,000</u>	<u>\$2,333</u>	<u>\$1.21</u>	<u>0.72%</u>
Insurance	<u>\$21,000</u>	<u>\$1,750</u>	<u>\$0.91</u>	<u>0.53%</u>
Security	<u>\$7,000</u>	<u>\$583</u>	<u>\$0.30</u>	<u>0.18%</u>
Developer's Overhead	<u>\$38,000</u>	<u>\$3,166</u>	<u>\$1.64</u>	<u>0.97%</u>
General Contract. Overhead	<u>\$46,000</u>	<u>\$3,833</u>	<u>\$1.99</u>	<u>1.20%</u>
Construction Manager	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>0.00%</u>
Property Manager	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>0.00%</u>
Construction Interest	<u>\$126,000</u>	<u>\$10,500</u>	<u>\$5.45</u>	<u>3.20%</u>
Financing/Application Fees	<u>\$14,000</u>	<u>\$1,167</u>	<u>\$0.61</u>	<u>0.04%</u>
Utilities	<u>\$19,000</u>	<u>\$1,583</u>	<u>\$0.82</u>	<u>0.05%</u>
Maintenance (unsold units)	<u>\$12,000</u>	<u>\$1,000</u>	<u>\$0.52</u>	<u>0.03%</u>
Accounting	<u>\$25,000</u>	<u>\$2,083</u>	<u>\$1.08</u>	<u>0.06%</u>
Marketing	<u>\$180,000</u>	<u>\$15,000</u>	<u>\$7.78</u>	<u>4.60%</u>
(h) Subtotal Soft Costs	<u>\$695,000</u>	<u>\$57,917</u>	<u>\$30.04</u>	<u>17.80%</u>
(i) Contingency	<u>\$34,750</u>	<u>\$2,896</u>	<u>\$1.50</u>	<u>0.90%</u>
(j) Total Soft Costs (h+i)	<u>\$729,750</u>	<u>\$60,812</u>	<u>\$31.54</u>	<u>18.70%</u>
(k) Total Development Costs (g+j)	<u>\$3,907,990</u>	<u>\$325,666</u>	<u>\$168.91</u>	<u>100.00%</u>

Profit Analysis (should conform to the pro forma)

Sources:

Affordable projected sales \$195,000.00
Market sales \$415,000.00
Public grants \$0.00
(A) Total Sources \$4,320,000.00

Uses:

Construction Contract Amount \$3,178,240.00
(B) Total Development Costs \$3,907,999.00

Profit:

(C) Total Profit (A-B) \$412,010.00
(D) Percentage Profit (C/B) \$10.50%

Cost Analysis (should conform to the pro forma)

Total Gross Building Square Footage 23,136 sq. ft.
Residential Construction Cost per Sq. Ft. \$0.00
Total Hard Costs per Sq. Ft. \$132.09
Total Development Costs per Sq. Ft. \$168.00
Sales per Sq. Ft. \$186.00
(do not include proceeds from public grants)

XI. DEVELOPMENT SCHEDULE

Complete the chart below by providing the appropriate month and year. Fill in only as many columns as there are phases. If there will be more than three phases, add columns as needed.

	Phase 1	Phase 2	Phase 3	Total
Number of affordable units	<u>1</u>	<u>1</u>	<u>1</u>	<u>3</u>
Number of market units	<u>3</u>	<u>3</u>	<u>3</u>	<u>9</u>
Total by phase	<u>4</u>	<u>4</u>	<u>4</u>	<u>12</u>

Please complete the following chart with the appropriate projected dates:

	Phase 1	Phase 2	Phase 3	Total
All permits granted	<u>12/31/18</u>	<u>12/31/19</u>	<u>12/31/20</u>	<u>12</u>
Construction start	<u>12/31/18</u>	<u>12/31/19</u>	<u>12/31/20</u>	<u>12</u>
Marketing start – affordable units	<u>6/1/19</u>	<u>6/1/20</u>	<u>6/1/21</u>	<u>12</u>
Marketing start – market units	<u>6/1/19</u>	<u>6/1/20</u>	<u>6/1/21</u>	<u>12</u>
Construction completed	<u>9/1/19</u>	<u>9/1/20</u>	<u>9/1/21</u>	<u>12</u>
Initial occupancy	<u>9/1/19</u>	<u>9/1/20</u>	<u>9/1/21</u>	<u>12</u>

XII. MARKETING OUTREACH AND LOTTERY

Affirmative Fair Housing Marketing Plan:

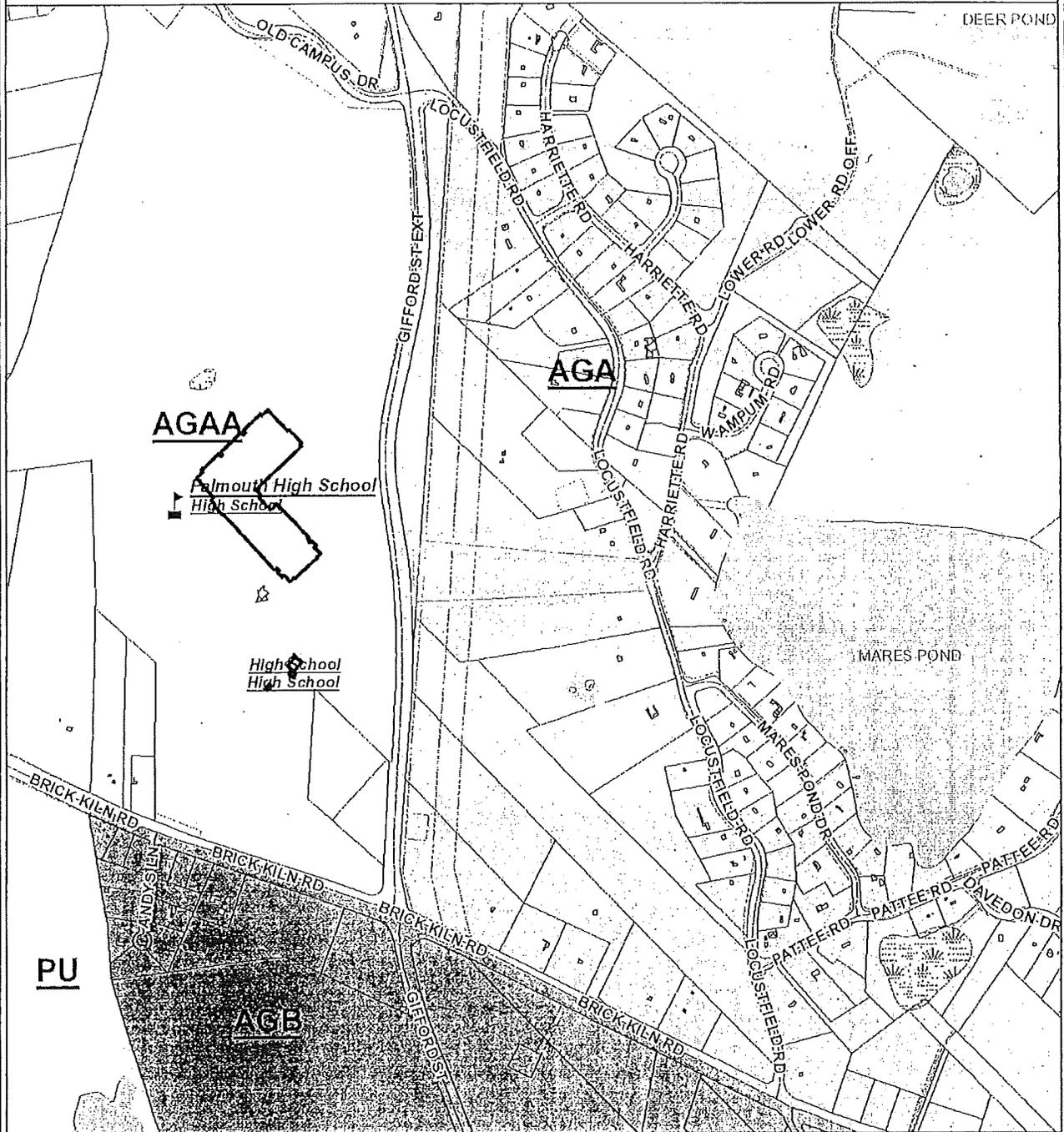
Please submit your Affirmative Fair Housing Marketing Plan (AFHMP), prepared in accordance with Section III of the 40B Guidelines, and a description of the lottery process that will be used for this project. This shall describe:

- Information materials for applicants that will be used that provides key project information;
- Eligibility requirements;
- Lottery and resident selection procedure;
- Any preference system being used (Note: if local preference is proposed for this project, demonstration of the need for local preference must be demonstrated and accepted by DHCD);
- Measures to ensure affirmative fair marketing including outreach methods;
- Application materials that will be used; and
- Lottery Agent.

XIII. CHECKLIST OF ATTACHMENTS

The following documentation must accompany each application:

1. Letter of support signed by Chief Elected Officer of municipality
2. Letter of support from local housing partnership (if applicable)
3. Signed letter of interest from a construction lender
4. Map of community showing location of site
5. Check payable to DHCD
6. Rationale for calculation of affordable purchase prices or rents (see Instructions)
7. Copy of site control documentation (deed or Purchase & Sale or option agreement)
8. Last arms length transaction or current appraisal under by-right zoning
9. 21E summary (if applicable)
10. Photographs of existing building(s) and/or site
11. Site Plan showing location of affordable units
12. Sample floor plans and/or sample elevations
13. Proposed marketing and lottery materials



1" = 563 ft

- Places of Interest**
- Police
 - Fire Stations
 - Golf
 - Library
 - Medical
 - Municipal Buildings
 - Other
 - Schools
 - Spots
 - BEACHES
 - BOAT RAMPS
 - CCRTA Bus Stops
 - Ferry Routes
 - FALMOUTH EDGARTOW
 - FALMOUTH-OAK BLUFF
 - WOODS HOLE-OAK BLU
 - WOODS HOLE-VINEYAR

- CCRTA Bus Routes**
- Fall-Win-Spr
 - WHOOSH
 - Summer
 - Bike Path
- Coastal Structures**
- Coastal Wall
 - DOCK
 - Groins
 - Jetty
 - PIER
 - Revelment
 - WHARF
- Water Features**
- POND
 - STREAM
 - WETAREA
 - Decks
 - Patios

- Parcels**
- Road Owners/tp
 - COUNTY, TOWN
 - PRIVATE
 - STATE
 - Easements
 - Vegetation
 - BOG
 - FIELD
 - ORCHARD

- Layers of Interest**
- Zoning**
- AGA
 - AGAA
 - AGB
 - B1
 - B2
 - B3
 - BR
 - GR
 - UA
 - UB
 - LIC
 - M
 - PU
 - RA
 - RAA
 - RB
 - RC
 - SCRD

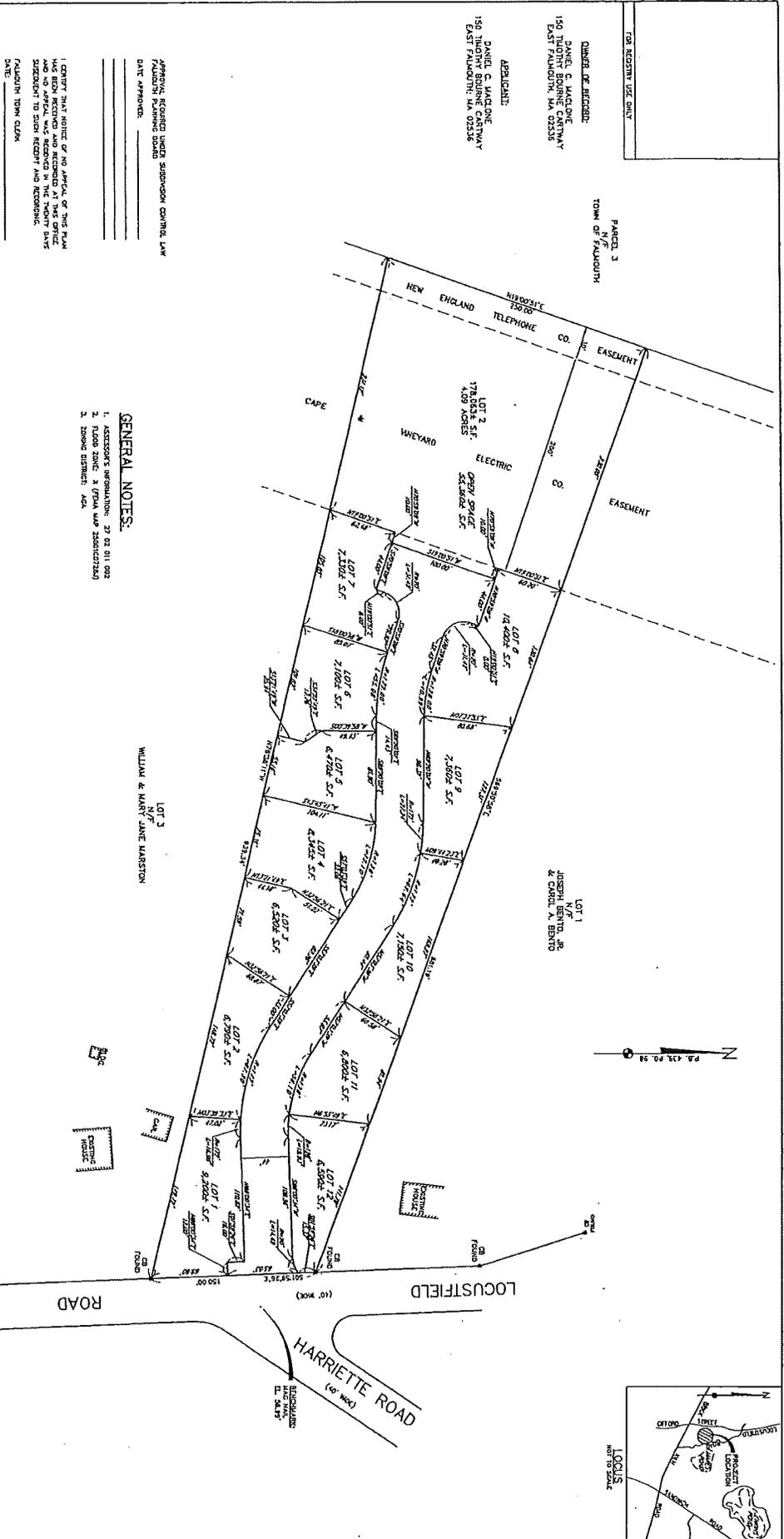
Disclaimer
 The Town of Falmouth makes no claims, no representations and no warranties, express or implied, concerning the validity (express or implied), the reliability or the accuracy of the GIS data and/or GIS products furnished by the Town, including the implied validity of any uses of such data. Parcel lines are graphic representations only. Planimetric features derived from 3/05 Aerials.
 Prepared by Falmouth G.I.S.

FOR RECEIVING USE ONLY

PARCEL 3
N/E
TOWN OF PALMOUTH

OWNER OF RECORD:
DANIEL G. JACOBSON
150 THURLOTT BOYDING CIRCLE
EAST PALMOUTH, VA 02336

APPLICANT:
DANIEL G. JACOBSON
150 THURLOTT BOYDING CIRCLE
EAST PALMOUTH, VA 02336



GENERAL NOTES:

1. ASSessor'S INFORMATION: 27 02 011 002
2. ZONING DISTRICT: A-2

I CERTIFY THAT THE PLAN AND SURVEY WERE PREPARED IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF VIRGINIA.

DATE: _____

I CERTIFY THAT THE PLAN AND SURVEY WERE PREPARED IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF VIRGINIA.

DATE: _____

SUBMISSION NOTES:

1. LENGTH OF PAVED ROADWAY = 361'
2. WIDTH OF ROAD LAYOUT = 32'x45' ST. (75'x105') (1433)
3. AREA OF ROADWAY = 32'x45' ST. (1320)
4. AREA OF OPEN SPACE = 53,940 SQ. FT. (127 ACRES) (5112)
5. TOTAL AREA OF SUBMISSION = 4.08 ACRES
6. NUMBER OF PROPOSED LOTS = 12

I CERTIFY THAT THE PLAN AND SURVEY WERE PREPARED IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF VIRGINIA.

DATE: _____



LEGEND

CONCRETE DRIVE

CONCRETE DRIVE

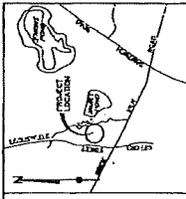
DEFINITIVE PLAN OF LAND
ADVANCED FOR
VALUED HOME IMPROVEMENT & MAINTENANCE
LOT 2 LOCUSTFIELD ROAD
PALMOUTH, VA

PLAN DATE: AUGUST 6, 2018
PLAN SCALE: 1" = 40'

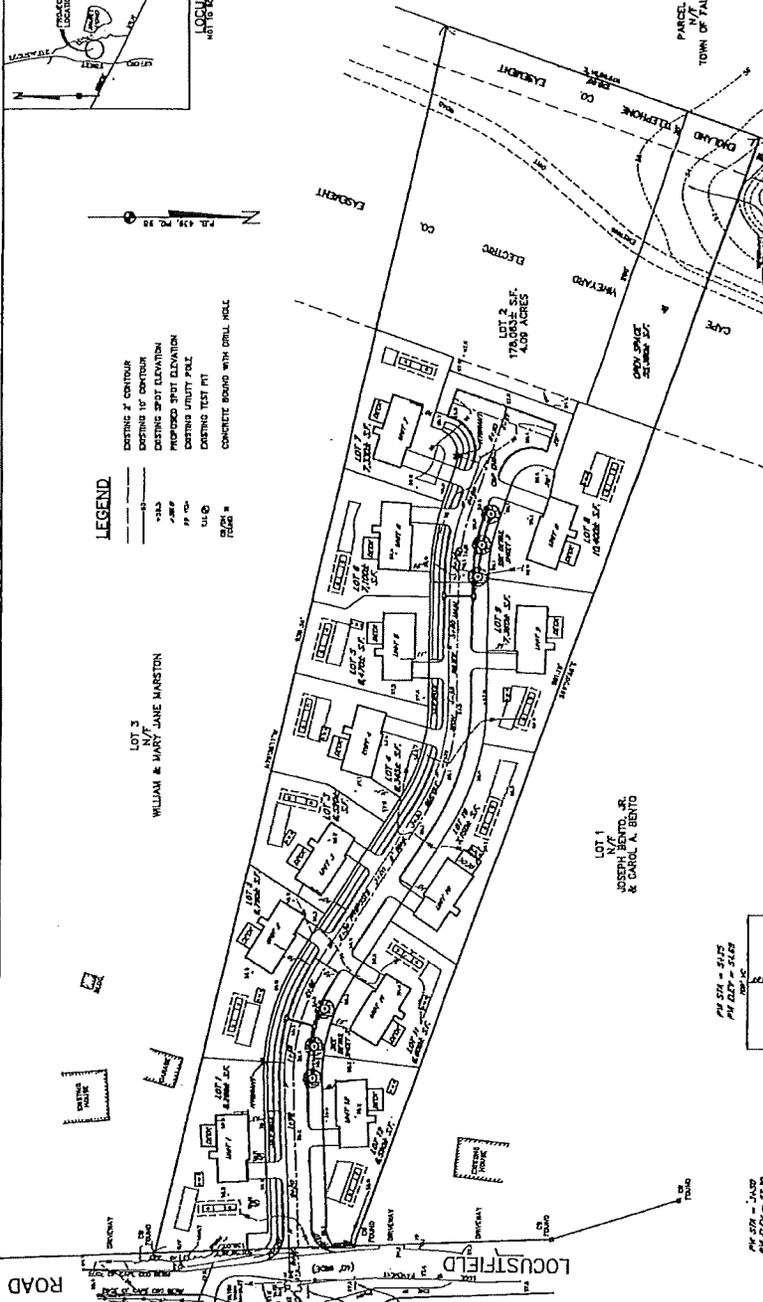
Prepared by:
WILLIAM & MARY JANE WILSON
150 THURLOTT BOYDING CIRCLE
EAST PALMOUTH, VA 02336

Checked by:
WILLIAM & MARY JANE WILSON
150 THURLOTT BOYDING CIRCLE
EAST PALMOUTH, VA 02336

Project Number: 17393 (2) THE NAME "THURLOTT BOYDING CIRCLE"
SHEET 1 OF 1

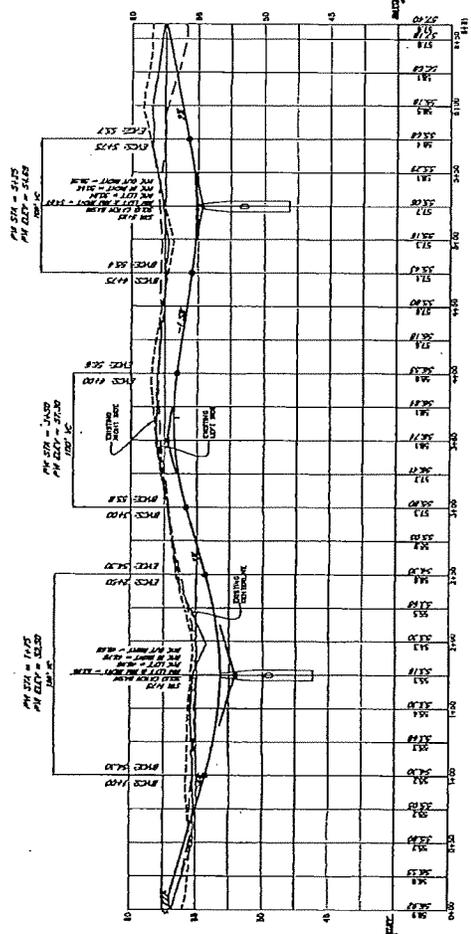


- LEGEND**
- DOTTING 2' CONTOUR
 - DOTTING 10' CONTOUR
 - DOTTING 50' ELEVATION
 - PROPOSED SPOT ELEVATION
 - DOTTING 100' ELEVATION
 - DOTTING 150' ELEVATION
 - DOTTING 200' ELEVATION
 - CONCRETE BOARD WITH DRILL HOLE



PROFILE
STATION 0+0 TO 6+61
SCALE 1" = 40' HORIZONTAL
SCALE 1" = 4' VERTICAL

- EXISTING DRAINAGE CENTERLINE
- PROPOSED DRAINAGE CENTERLINE
- EXISTING DRAINAGE 24" DIA
- PROPOSED DRAINAGE 24" DIA
- EXISTING DRAINAGE 18" DIA
- PROPOSED DRAINAGE 18" DIA



SUMMARY OF LOT COVERAGES:

1. LOT 1 STRUCTURES: 101 S.F./1,000 S.F. = 10.1%
2. LOT 2 STRUCTURES: 1,332 S.F./17,000 S.F. = 7.8%
3. LOT 3 STRUCTURES: 1,332 S.F./17,000 S.F. = 7.8%
4. LOT 4 STRUCTURES: 281 S.F./1,000 S.F. = 28.1%
5. LOT 5 STRUCTURES: 1,332 S.F./17,000 S.F. = 7.8%
6. LOT 6 STRUCTURES: 1,332 S.F./17,000 S.F. = 7.8%
7. LOT 7 STRUCTURES: 1,332 S.F./17,000 S.F. = 7.8%
8. LOT 8 STRUCTURES: 1,332 S.F./17,000 S.F. = 7.8%
9. LOT 9 STRUCTURES: 1,332 S.F./17,000 S.F. = 7.8%
10. LOT 10 STRUCTURES: 1,332 S.F./17,000 S.F. = 7.8%
11. LOT 11 STRUCTURES: 1,332 S.F./17,000 S.F. = 7.8%
12. LOT 12 STRUCTURES: 1,332 S.F./17,000 S.F. = 7.8%

GENERAL NOTES:

1. ALLERSON'S INFORMATION: 27 OF 311 023
2. FLOOD ZONE: X (TOWNSHIP MAP 2001(02728))
3. ZONING DISTRICT: ADA
4. EXHIBIT DESIGN: GREAT POND OVERLAY DISTRICT
5. TOPOGRAPHIC INFORMATION: COURTESY FROM TOWN GIS MAPS
6. ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1985.
7. UNITS 2, 3 AND 8 ARE DESIGNATED AS AVOIDABLE

PLAN & PROFILE
LOT 2 LOCUSTFIELD ROAD
LOCUSTFIELD LLC

PLAN DATE: JULY 23, 2016
FALMOUTH, MAINE

SCALE: 1" = 40'

THE ENGINEER:
KIMBERLY R. BROWN
REGISTERED PROFESSIONAL ENGINEER
LICENSE NO. 10001

PROJECT NUMBER: 170325-01 FILE NAME: 170325-01 DRAWN BY: J.L.L.

17 ACADEMY LANE, SUITE 200 - FALMOUTH, MA - 03540 - 508-451-1275

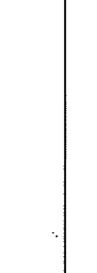
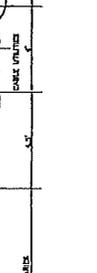
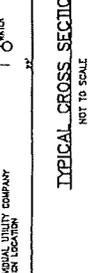
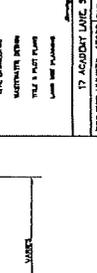
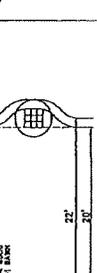
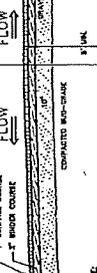
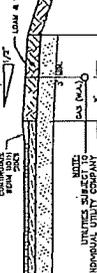
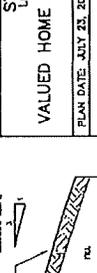
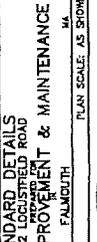
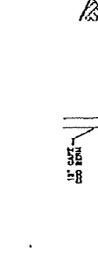
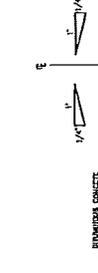
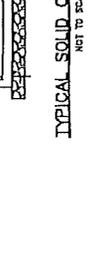
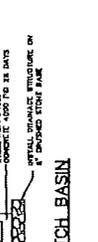
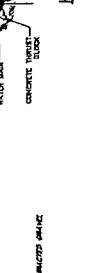
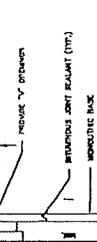
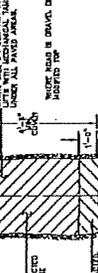
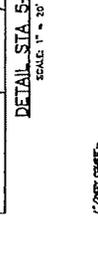
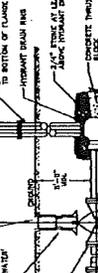
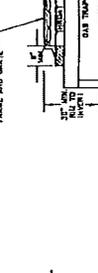
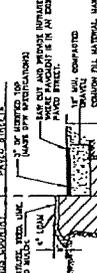
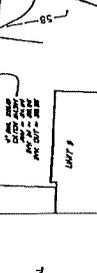
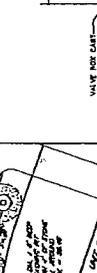
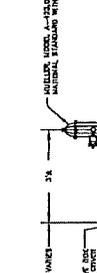
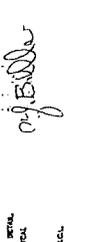
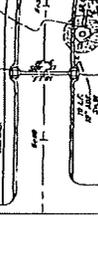
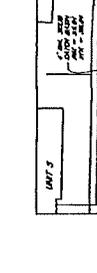
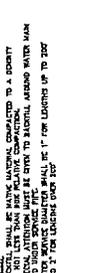
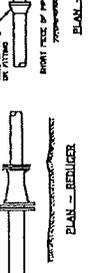
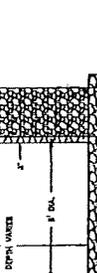
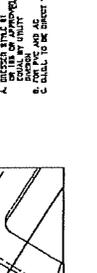
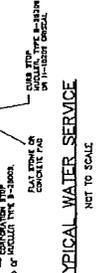
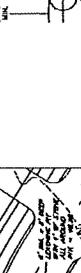
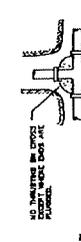
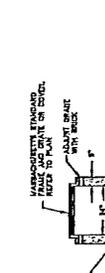
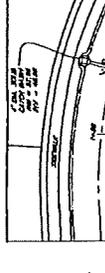
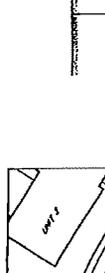
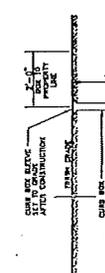
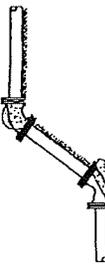
SKIMMUT ENGINEERING

17 ACADEMY LANE, SUITE 200 - FALMOUTH, MA - 03540 - 508-451-1275

PROJECT NUMBER: 170325-01 FILE NAME: 170325-01 DRAWN BY: J.L.L.

SHEET 1 OF 2

NO.	DESCRIPTION	QTY	UNIT
1	CONCRETE	100	CU YD
2	STEEL	100	LB
3	GRAVEL	100	CU YD
4	SAND	100	CU YD
5	BRICK	100	1000
6	PIPE	100	LINEAR FT
7	VALVE	100	EA
8	MANHOLE	100	EA
9	WALKWAY	100	EA
10	GRASS	100	SQ YD



ANCHORAGE DETAILS
NOT TO SCALE

- NOTES:**
1. ALL ANCHORS SHALL BE INSTALLED AT 20' INTERVALS.
 2. ALL ANCHORS SHALL BE INSTALLED IN CONCRETE.
 3. ALL ANCHORS (EXCEPT AS INDICATED) SHALL BE INSTALLED AT 20' INTERVALS.
 4. FOR THE HYDRANT TRENCHING SEE HYDRANT CONNECTION DETAIL.
 5. CONCRETE SHALL BE PLACED IN 4" COURSES.
 6. ANCHOR BARS SHALL BE PLACED ON ALL SIDES.
 7. CLEAN 1/2" DIA OR SMALLER ANCHOR BARS USED WITH SPLICERS.

- NOTES:**
1. BRICK MAY BE USED FOR THE WALLS OF THE TRENCH.
 2. THE WALLS SHALL BE SET IN A 1" THICK MORTAR.
 3. THE WALLS SHALL BE SET IN A 1" THICK MORTAR.

- NOTES:**
1. THE WALLS SHALL BE SET IN A 1" THICK MORTAR.
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TYPICAL SOLID CATCH BASIN
NOT TO SCALE

STANDARD DETAILS
FOR 2' DIAMETER
VALUED HOME IMPROVEMENT & MAINTENANCE
FALMOUTH

PLAN DATE: JULY 23, 2018
PLAN SCALE: AS SHOWN

VALUERS ENGINEERS
GENERAL ENGINEERS
PLANNING ENGINEERS
LAND SURVEYORS
CIVIL ENGINEERS

17 KIDDY LANE 2ND FLOOR - FALMOUTH, MA - 02540 - 508-481-1220
PROJECT NUMBER: 17082 (JOB FILE NAME: 17082) DRAWING SET: LUL

SHEET 2 OF 2

TYPICAL CROSS SECTION
NOT TO SCALE

TYPICAL LAYOUT DRAINAGE CATCH BASIN
NOT TO SCALE

TRENCH SECTION
NOT TO SCALE

TYPICAL PAVED SURFACE
NOT TO SCALE

HYDRANT CONNECTION
NOT TO SCALE

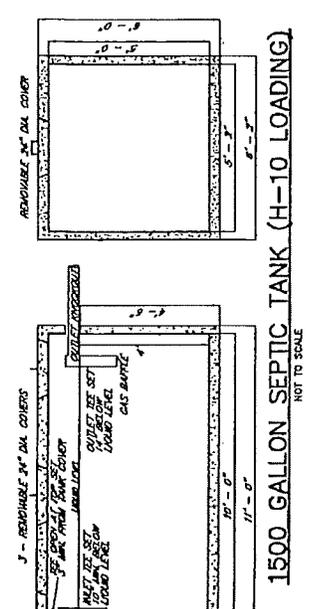
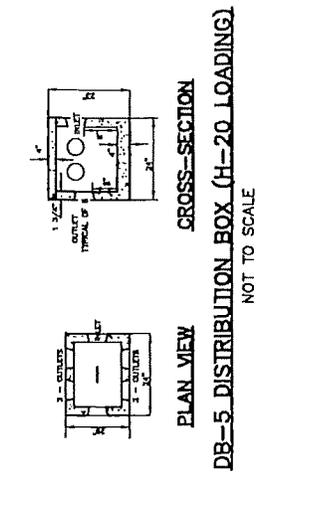
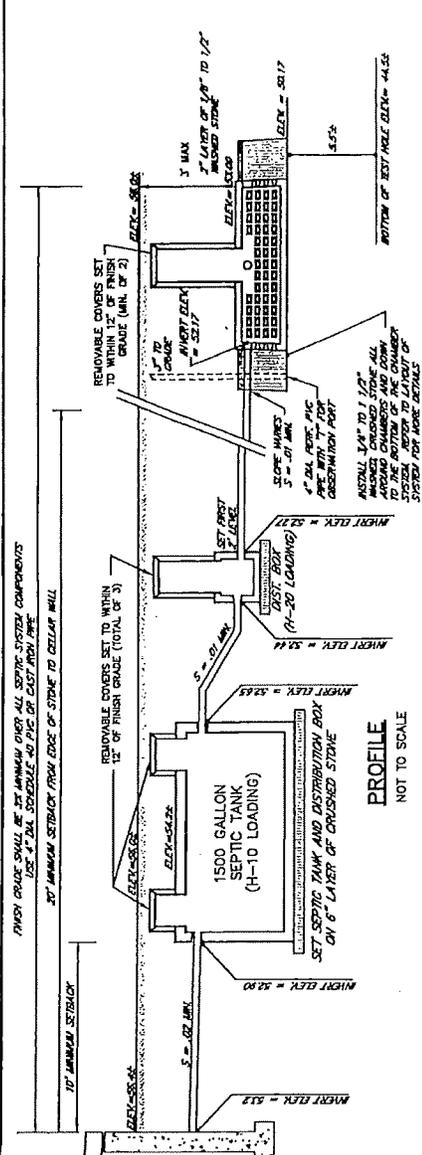
DETAIL STA 14+75
SCALE: 1" = 20'

DETAIL STA 5+25
SCALE: 1" = 20'

TYPICAL LEACHING CATCH BASIN
NOT TO SCALE

NOTES:

1. THE WALLS SHALL BE SET IN A 1" THICK MORTAR.
2. THE WALLS SHALL BE SET IN A 1" THICK MORTAR.
3. THE WALLS SHALL BE SET IN A 1" THICK MORTAR.



TEST HOLE #1	TEST HOLE #2
0' - 1' O/E	0' - 1' O/E
1' - 30"	1' - 30"
30" - 152"	30" - 152"
LOAMY SAND	LOAMY SAND
COURSE SAND WITH GRAVEL	COURSE SAND WITH GRAVEL

SOIL TEST
 DATE: 08/01/18
 TEST: T-1
 TESTED BY: MICHAEL BORSICELLI, P.E.
 WITNESSED BY: BERNIE SULLIVAN
 PENNSYLVANIA NOTE:
 Ground water: NONE

BASIS FOR DESIGN:
 TOTAL DAILY FLOW AS SHOWN ON J DRAWINGS, NO CHANGE ADJUSTED.
 TOTAL DAILY FLOW = 119 GPD (BASED ON J DRAWINGS) - JUL 2018
 BOTTOM AREA PROPOSED = 341 SF.
 SEE AREA PROPOSED = 189 SF.
 TOTAL LEACHING AREA PROPOSED = 530 SF.
 APPLICATION RATE = 0.24 GPD/SF.
 DESIGN LEACHING CAPACITY = 377 GPD > JUL 2018

CONSTRUCTION NOTES:

1. INSTALLATION OF THE PROPOSED SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH TITLE 5 AND THE BOARD OF HEALTH REGULATIONS.
2. A COPY OF THE PLANS SHALL BE AVAILABLE ON SITE FOR REFERENCE AT ALL TIMES DURING THE INSTALLATION OF THE SEPTIC SYSTEM.
3. NO CHANGES TO THE DESIGN SHALL BE PERMITTED WITHOUT THE APPROVAL OF BOTH FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH.
4. THE SEPTIC SYSTEM IS SUBJECT TO INSPECTION BY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH.
5. THE CONTRACTOR SHALL NOTIFY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH TO ACCESS THE SEPTIC SYSTEM PRIOR TO ANY WORK. ANY WORK PERFORMED AT ANY TIME SHALL BE IN ACCORDANCE WITH TITLE 5 AND THE BOARD OF HEALTH REGULATIONS. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE BOARD OF HEALTH.
6. IF THE CONTRACTOR ENCOUNTERS ANY ISSUES IN SITE CONDITIONS, SUCH AS EXISTING SOILS, ADVERSELY AFFECTING THE DESIGN OR OTHER CONDITIONS THAT MAY AFFECT THE INSTALLATION OF THE DESIGN, THE CONTRACTOR SHALL IMMEDIATELY CONTACT FALMOUTH ENGINEERING, INC.

SEPTIC SYSTEM DETAILS
 FOR LOT 2 LOCUSTFIELD ROAD - UNIT 1
 PREPARED FOR
LOCUSTFIELD LLC
 IN
 FALMOUTH, MA

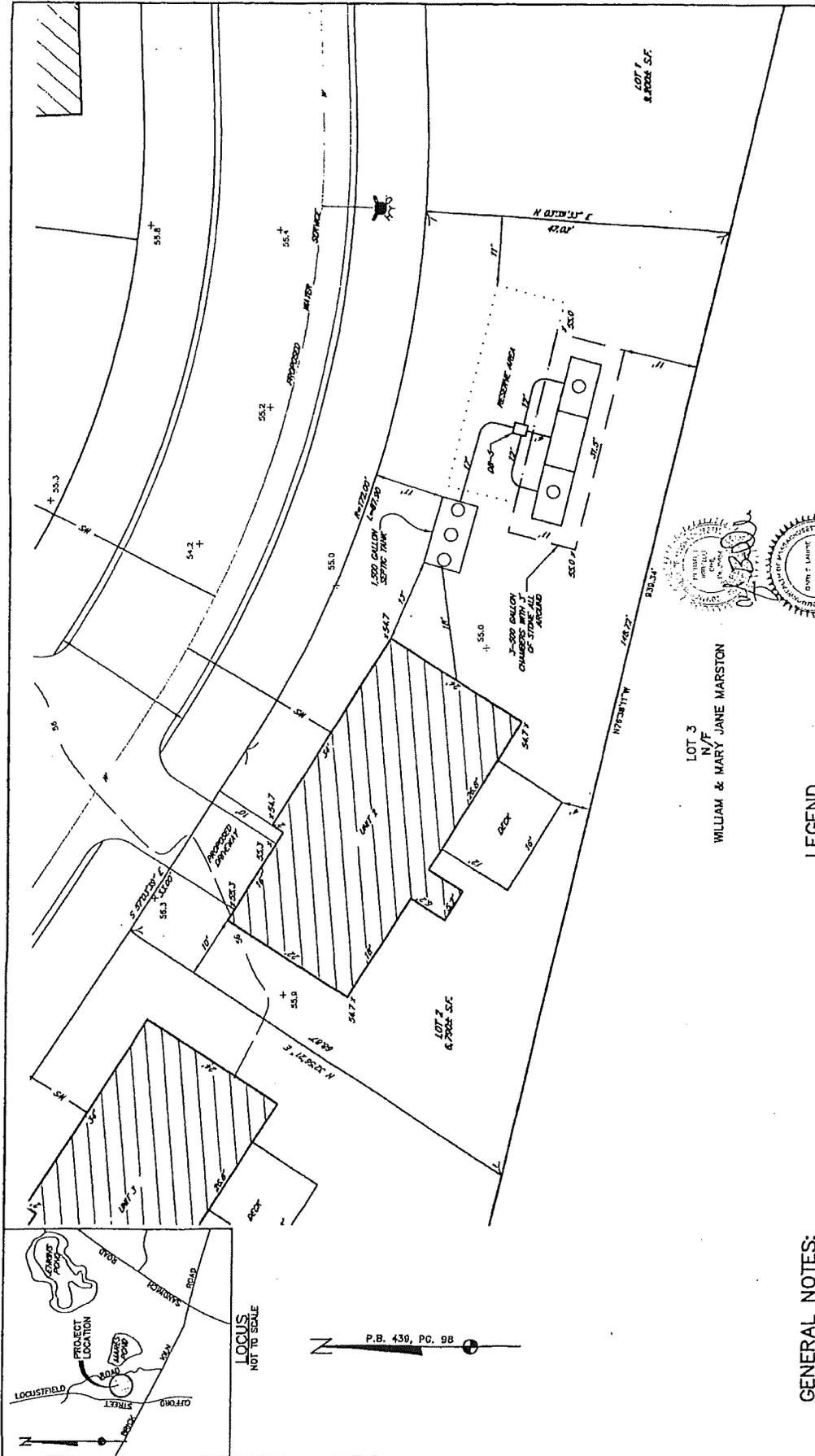
PLAN DATE: JULY 27, 2018
 PLAN SCALE: AS SHOWN

CIVIL ENGINEERING
 WASTEWATER DESIGN
 TITLE 5 PLAN PLANS
 LAND USE PLANNING

WELFARE PLANNING
 COASTAL ENGINEERING
 PILES AND DOCK
 COMMERCIAL/RESIDENTIAL

17 ACADEMY LANE, SUITE 200 - FALMOUTH, MA - 02540 - 508.483.1225
 PROJECT NUMBER: 17092D CAD FILE NAME: 17092D.DWG DRAWN BY: LW./D.N.M. SHEET 2 OF 2

500 GALLON LEACHING CHAMBER (H-10 LOADING)
 SCALE: 1" = 2'



SITE PLAN
LOT 2 LOCUSTFIELD ROAD - UNIT 2
PREPARED FOR
LOCUSTFIELD LLC
IN
FALMOUTH MA

PLAN DATE: JULY 27, 2018 PLAN SCALE: 1"=10'

CIVIL ENGINEERING
 WASTEWATER DESIGN
 TITLE & PLAT PLANS
 LAND USE PLANNING

WETLANDS PERMITTING
 COASTAL ENGINEERING
 PILES AND DOCKS
 COMMERCIAL/RESIDENTIAL

17 ACADEMY LANE, SUITE 200 - FALMOUTH, MA - 02540 - 508.495.1225
 PROJECT NUMBER: 17092 CAD FILE NAME: 17092SP DRAWN BY: L.M./D.M.A. SHEET 1 OF 2

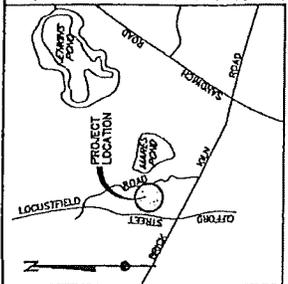
LEGEND

- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING TEST PIT
- EXISTING STONE WALL
- EXISTING HYDRANT
- CONCRETE BOUND WITH DRILL HOLE

SCALE: 1 INCH = 10 FEET

GENERAL NOTES:

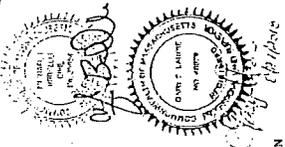
- ASSESSOR'S INFORMATION: 27 02 011 002
- FLOOD ZONE: X (FEMA MAP 25001C0726)
- ZONING DISTRICT: AGA
- WIND EXPOSURE CATEGORY: B
- OVERLAY DISTRICT: GREAT POND COASTAL POND OVERLAY DISTRICT
- LOT COVERAGE BY:
 - STRUCTURES/PARKING/PAVING: 1,534 S.F. / 6,790 S.F. = 22.6%
 - STRUCTURES/PARKING/PAVING: 1,382 S.F. / 6,790 S.F. = 20.5%
- TOPOGRAPHIC INFORMATION COMPILED FROM TOWN GIS MAPS
- ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988.

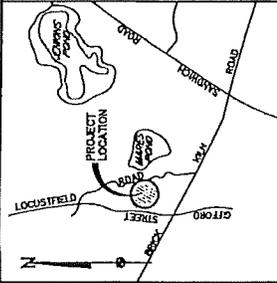


LOCUSTFIELD
 NOT TO SCALE

P.B. 430, PG. 98

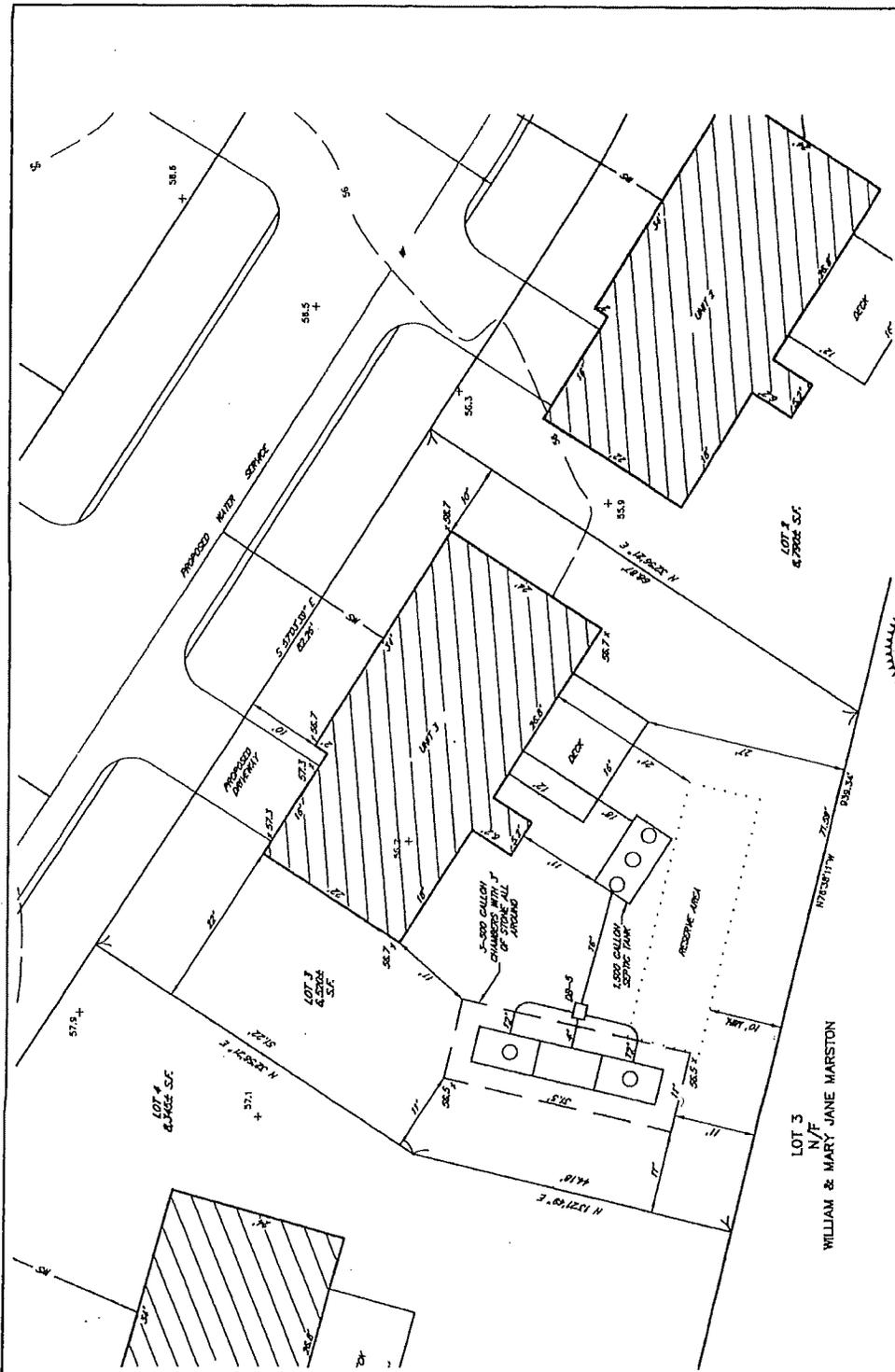
LOT 3
 N/F
 WILLIAM & MARY JANE MARSTON





LOCUSTFIELD ROAD
NOT TO SCALE

P.B. 439, PG. 98

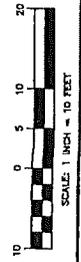
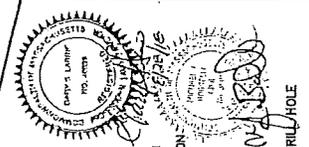


GENERAL NOTES:

1. ASSESSOR'S INFORMATION: 27 02 01 002
2. FLOOD ZONE: X (FEMA MAP 25001C0726J)
3. ZONING DISTRICT: AGA
4. WIND EXPOSURE CATEGORY: B
5. OVERLAY DISTRICT: GREAT POND COASTAL POND OVERLAY DISTRICT
6. LOT COVERAGE BY:
 - A. STRUCTURES: 1,392 S.F./ 6,520 S.F. = 21.3%
 - B. STRUCTURES/PARKING/PAVING: 1,337 S.F./ 6,520 S.F. = 20.5%
7. TOPOGRAPHIC INFORMATION COMPILED FROM TOWN GIS MAPS
8. ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988.

LEGEND

- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR
- +21.5 EXISTING SPOT ELEVATION
- +21.0 PROPOSED SPOT ELEVATION
- EXISTING TEST PIT
- EXISTING STONE WALL
- EXISTING HYDRANT
- CONCRETE BOUND WITH DRAINAGE

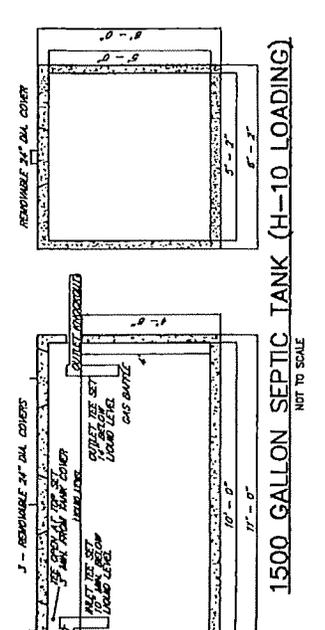
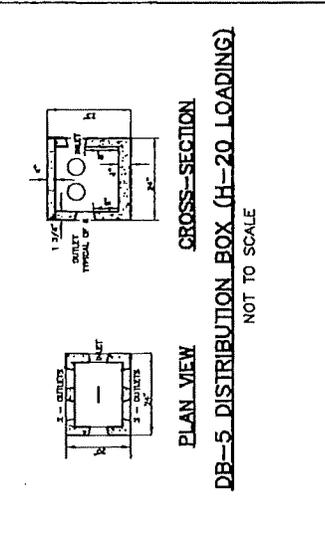
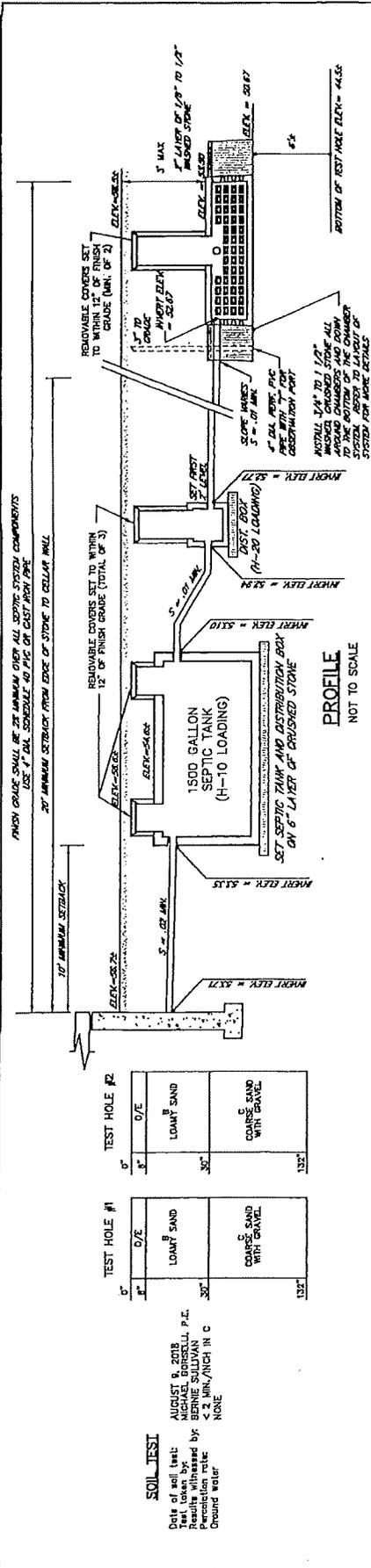


SITE PLAN
LOT 2 LOCUSTFIELD ROAD - UNIT 3
PREPARED FOR
LOCUSTFIELD LLC
IN
FALMOUTH, MA

PLAN DATE: JULY 27, 2018	PLAN SCALE: 1"=10'
CIVIL ENGINEERING	WETLANDS PERMITTING
WATERWATER DESIGN	COASTAL DEVELOPMENT
TITLE & PLAT PLANS	PERMITS AND DEEDS
LAND USE PLANNING	COMMERCIAL/RESIDENTIAL



17 ACADEMY LANE, SUITE 200 - FALMOUTH, MA - 02540 - 508.493.1225
PROJECT NUMBER: 17092 CAD FILE NAME: 17092SP DRAWN BY: L.M./D.M.M. SHEET 1 OF 2



CONSTRUCTION NOTES:

- INSTALLATION OF THE PROPOSED SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH TITLE 5 AND THE BOARD OF HEALTH REGULATIONS.
- A COPY OF THE PLANS SHALL BE AVAILABLE ON SITE FOR REFERENCE AT ALL TIMES DURING THE INSTALLATION OF THE SEPTIC SYSTEM.
- NO CHANGES TO THE DESIGN SHALL BE PERMITTED WITHOUT THE APPROVAL OF BOTH FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH.
- THE SEPTIC SYSTEM IS SUBJECT TO INSPECTION BY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH.
- THE CONTRACTOR SHALL NOTIFY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH TO ACCESS THE SEPTIC SYSTEM PRIOR TO ANY WORK TO BE DONE IN THE PORTIONS OF THE SYSTEM THAT HAVE BEEN MONITORED AND APPROVED BY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH.
- IF THE CONTRACTOR ENCOUNTERS ANY OBSTACLES AT THE SITE CONDITIONS, SUCH AS OBSTACLES TO THE SEPTIC SYSTEM, THE CONTRACTOR SHALL IMMEDIATELY CONTACT FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH.

SEPTIC SYSTEM DETAILS
FOR LOT 2 LOCUSTFIELD ROAD - UNIT 3
PREPARED FOR
LOCUSTFIELD LLC
FALMOUTH, MA

PLAN DATE: JULY 27, 2018
PLAN SCALE: AS SHOWN

RELATES PERTAINING TO:
SEPTIC SYSTEMS
WASTEWATER DESIGN
TITLE 5 PLAT PLANS
LAND USE PLANNING
COMMERCIAL/RESIDENTIAL

17 ACADEMY LANE, SUITE 200 - FALMOUTH, MA - 02540 - 508-495-1225
PROJECT NUMBER: 17092Z | CAD FILE NAME: 17092Z.DWG | DRAWN BY: L.M./D.M.M. | SHEET 2 OF 2

BASIS FOR DESIGN:

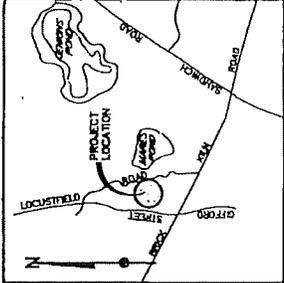
TOTAL DAILY FLOW IS BASED ON 3 BEDROOMS AND GARAGE DISPOSAL
TOTAL DAILY FLOW = 110 GPD/PERSON X 3 BEDROOMS = 330 GPD
BOTTOM AREA PROPOSED = 371 SF
SIDE AREA PROPOSED = 189 SF
TOTAL LEACHING AREA PROPOSED = 519 SF
APPLICATION RATE = 0.24 GPD/SF
DESIGN LEACHING CAPACITY = 377 GPD > 330 GPD

SOIL TEST

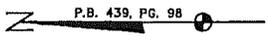
Date of soil test: AUGUST 8, 2018
Test taken by: MICHAEL BOSSELL, P.E.
Results witnessed by: BERNIE SULLIVAN
Penetration rate: < 2 MIN./INCH IN C
Ground water: NONE

FALMOUTH ENGINEERING, INC.
Septic System Design and Construction Administration

17 ACADEMY LANE, SUITE 200 - FALMOUTH, MA - 02540 - 508-495-1225
PROJECT NUMBER: 17092Z | CAD FILE NAME: 17092Z.DWG | DRAWN BY: L.M./D.M.M. | SHEET 2 OF 2



LOCUSTFIELD ROAD
NOT TO SCALE



LEGEND

- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR
- +21.5 EXISTING SPOT ELEVATION
- +27.0 PROPOSED SPOT ELEVATION
- ⊙ EXISTING TEST PIT
- ⊖ EXISTING STONE WALL
- ⊖ EXISTING HYDRANT
- ⊖ CONCRETE BOUND WITH DRILL HOLE
- ⊖ FOUND

GENERAL NOTES:

1. ASSESSOR'S INFORMATION: 27 02 011 002
2. FLOOD ZONE: X (FEMA MAP 25001C072B.)
3. ZONING DISTRICT: AGA
4. WIND EXPOSURE CATEGORY: B
5. OVERLAY DISTRICT: GREAT POND COASTAL POND OVERLAY DISTRICT
6. LOT COVERAGE BY:
 - A. STRUCTURES/PARKING/PAVING: 1,787 S.F./ 8,345 S.F. = 21.4%
 - B. STRUCTURES/PARKING/PAVING: 1,787 S.F./ 8,345 S.F. = 21.4%
7. TOPOGRAPHIC INFORMATION COMPILED FROM TOWN GIS MAPS
8. ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988.

SITE PLAN
LOT 2 LOCUSTFIELD ROAD - UNIT 4
PREPARED FOR
LOCUSTFIELD LLC
FALMOUTH, MA

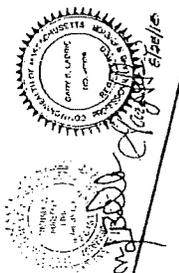
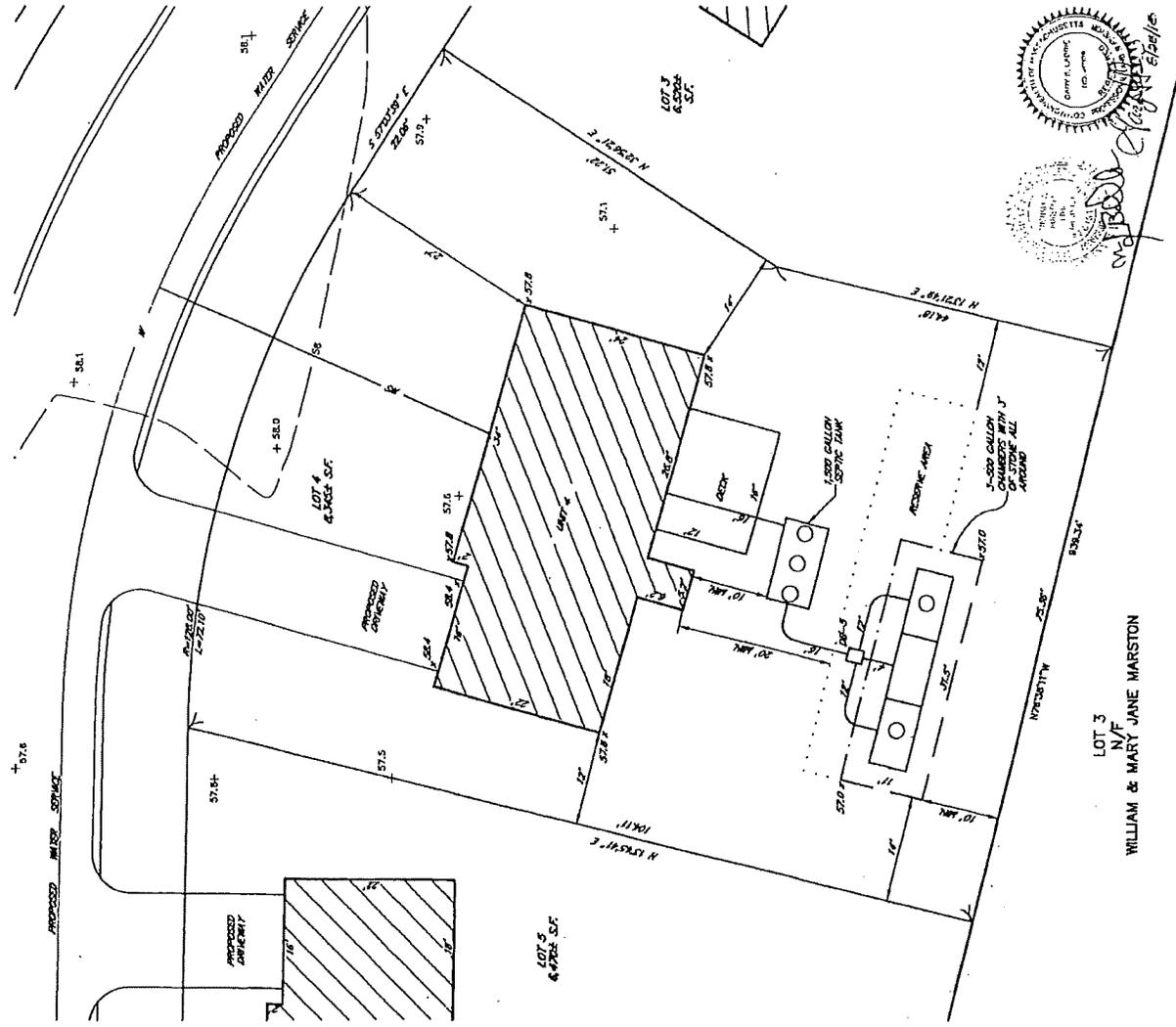
PLAN DATE: JULY 27, 2018 PLAN SCALE: 1"=10'



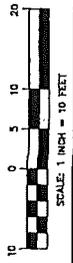
CIVIL ENGINEERING
WASTEWATER DESIGN
TITLE 9 PLAT PLANS
LAND USE PLANNING

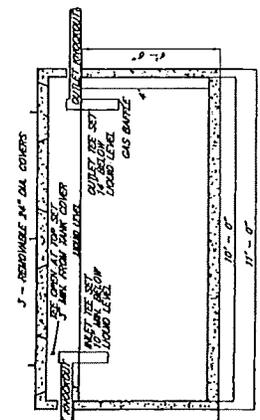
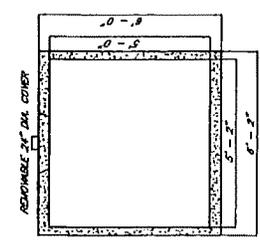
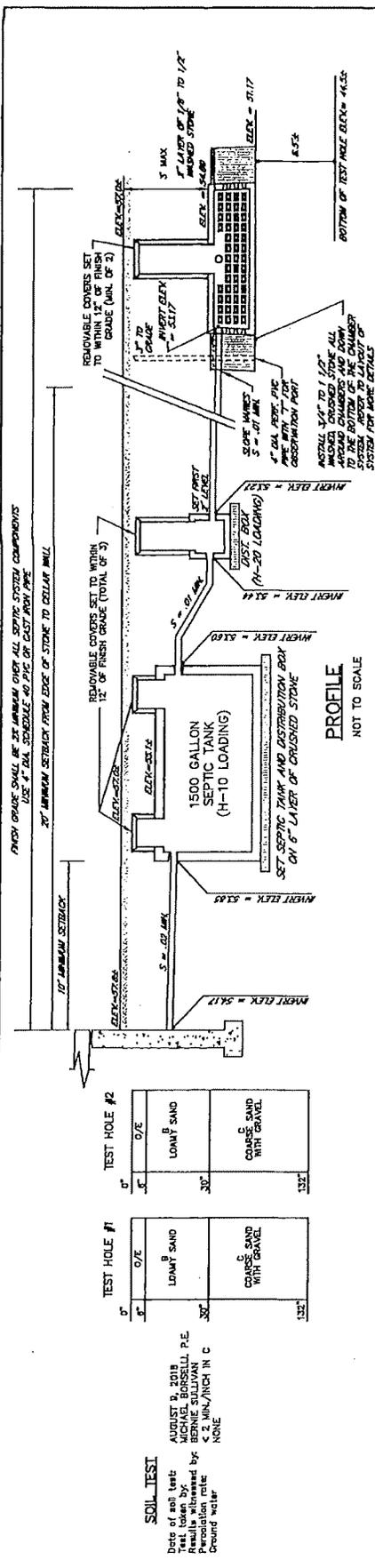
WETLANDS PERMITTING
COURTSHIP CHECKING
PERMITS AND DOCS
COMMERCIAL/RESIDENTIAL

17 ACADEMY LANE, SUITE 200 - FALMOUTH, MA - 02540 - 508.465.1225
PROJECT NUMBER: 17092 CAD FILE NAME: 17092SP DRAWN BY: L.M./D.M.M. SHEET 1 OF 2

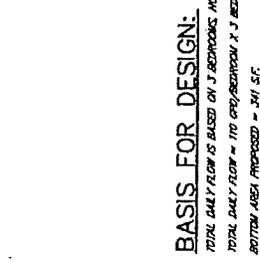
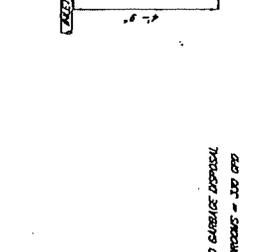


LOT 3
N/F
WILLIAM & MARY JANE MARSTON





1500 GALLON SEPTIC TANK (H-10 LOADING)
NOT TO SCALE



DB-5 DISTRIBUTION BOX (H-20 LOADING)
NOT TO SCALE

TEST HOLE #1	TEST HOLE #2
0' - 1' O/E	0' - 1' O/E
1' - 3' LUNA [®] SAND	1' - 3' LUNA [®] SAND
3' - 6' COURSE SAND WITH GRAVEL	3' - 6' COURSE SAND WITH GRAVEL
6' - 13.2'	6' - 13.2'

SOIL TEST
Date of soil test: AUGUST 19, 2018
Test taken by: MICHAEL BORSELLI, P.E.
Results witnessed by: BERNIE SULLIVAN
Soil type: CL 2 MIN./INCH IN C
Ground water: NONE

BASIS FOR DESIGN:
TOTAL DAILY FLOW IS BASED ON 3 BEDROOMS, NO GARAGE DISPOSAL
TOTAL DAILY FLOW = 170 GPD/BEDROOM x 3 BEDROOMS = 510 GPD
BOTTOM AREA PROPOSED = 341 SF.
SIDE AREA PROPOSED = 189 SF.
TOTAL LEACHING AREA PROPOSED = 510 SF.
APPLICATION RATE = 0.26 GPD/SF
DESIGN LEACHING CAPACITY = 377 GPD > 510 GPD

CONSTRUCTION NOTES:

1. INSTALLATION OF THE PROPOSED SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH TITLE 5 AND THE BOARD OF HEALTH REGULATIONS.
2. A COPY OF THE PLANS SHALL BE AVAILABLE ON SITE FOR REFERENCE AT ALL TIMES DURING THE INSTALLATION OF THE SEPTIC SYSTEM.
3. NO CHANGES TO THE DESIGN SHALL BE PERFORMED WITHOUT THE APPROVAL OF BOTH FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH.
4. THE SEPTIC SYSTEM IS SUBJECT TO INSPECTION BY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH.
5. THE CONTRACTOR SHALL NOTIFY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH TO INSPECT THE SEPTIC SYSTEM PRIOR TO BACKFILL. IN SOME INSTANCES, MORE THAN ONE INSPECTION MAY BE REQUIRED. THE CONTRACTOR SHALL ONLY BACKFILL THE PORTIONS OF THE SYSTEM THAT HAVE BEEN PREVIOUSLY INSPECTED AND APPROVED BY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH.
6. IF THE CONTRACTOR DISCOVERS ANY VIOLATIONS OF THE CONDITIONS SPECIFIED IN ANY OF THE SOILS, TOPOGRAHY, UTILITIES OR OTHER CONDITIONS THAT REQUIRE IMMEDIATE CONTACT WITH FALMOUTH ENGINEERING, INC. ON THE BEHALF OF THE CONTRACTOR.

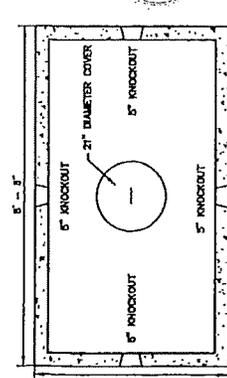
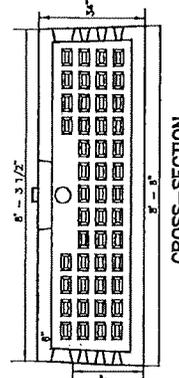
SEPTIC SYSTEM DETAILS
FOR LOT 2 LOCUSTFIELD ROAD - UNIT 4
PREPARED FOR
LOCUSTFIELD LLC
IN
FALMOUTH, MA

PLAN DATE: JULY 27, 2018 PLAN SCALE: AS SHOWN

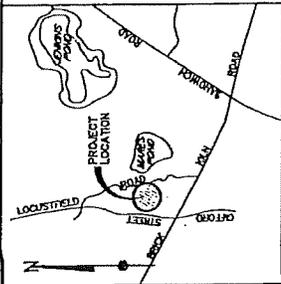
CIVIL ENGINEERING
WASTEWATER DESIGN
TITLE & PLAT PLANS
LAND USE PLANNING

RETAINERS FOR SITING
COASTAL ENGINEERING
PERMITS AND DOCS
COMMERCIAL/RESIDENTIAL

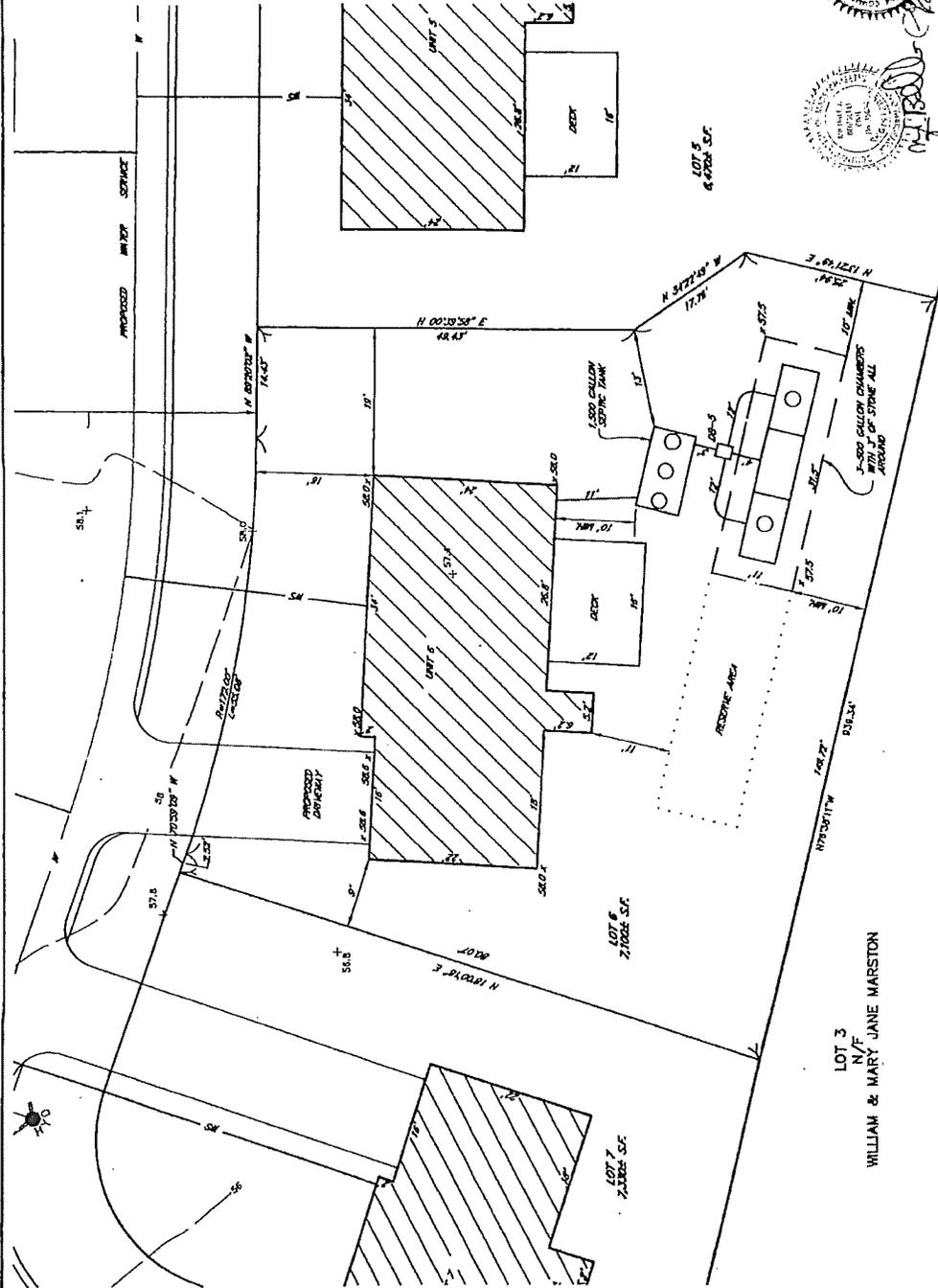
17 ACADEMY LANE, SUITE 200 - FALMOUTH, MA - 02540 - 508.485.1225
PROJECT NUMBER: 17092T CAD FILE NAME: 17092DT DRAWN BY: L.M./D.M.M. SHEET 2 OF 2



500 GALLON LEACHING CHAMBER (H-10 LOADING)
SCALE: 1" = 2'



LOCUSTFIELD
NOT TO SCALE



GENERAL NOTES:

- ASSESSOR'S INFORMATION: 27 02 011 002
- FLOOD ZONE: X (FEMA MAP 250100729J)
- ZONING DISTRICT: AGA
- WIND EXPOSURE CATEGORY: B
- OVERLAY DISTRICT: GREAT POND COASTAL POND OVERLAY DISTRICT
- LOT COVERAGE BY:
 - STRUCTURES/PARKING/PAVING: 1,655 S.F. / 7,100 S.F. = 23.3%
 - STRUCTURES/PARKING/PAVING: 1,655 S.F. / 7,100 S.F. = 23.3%
- TOPOGRAPHIC INFORMATION COMPILED FROM TOWN GIS MAPS
- ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988.

LEGEND

- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR
- 121.5 EXISTING SPOT ELEVATION
- +27.0 PROPOSED SPOT ELEVATION
- EXISTING TEST PIT
- EXISTING STONE WALL
- EXISTING HYDRANT
- CONCRETE BOUND WITH DRILL HOLE



SITE PLAN
LOT 2 LOCUSTFIELD ROAD -- UNIT 6
PREPARED FOR
LOCUSTFIELD LLC
IN
FALMOUTH
MA

PLAN DATE: JULY 27, 2018
PLAN SCALE: 1"=10'

CIVIL ENGINEERING	WATERWORKS DESIGN	TITLE & PLOT PLANS	LAND USE PLANNING
WETLANDS PERMITTING	COASTAL ENGINEERING	PERMITS AND DOCS	COMMERCIAL/RESIDENTIAL



17 ACADEMY LANE, SUITE 200 -- FALMOUTH, MA -- 02540 -- 508.485.1225
PROJECT NUMBER: 17092 CAD FILE NAME: 17092SP DRAWN BY: LM, D.M.M. SHEET 1 OF 2

TEST HOLE #1	TEST HOLE #2
0'	0'
1'	1'
30"	30"
132"	132"
SOIL TEST	SOIL TEST
LOAM ³ SAND	LOAM ³ SAND
CLAYE ² SAND WITH GRAVEL	CLAYE ² SAND WITH GRAVEL

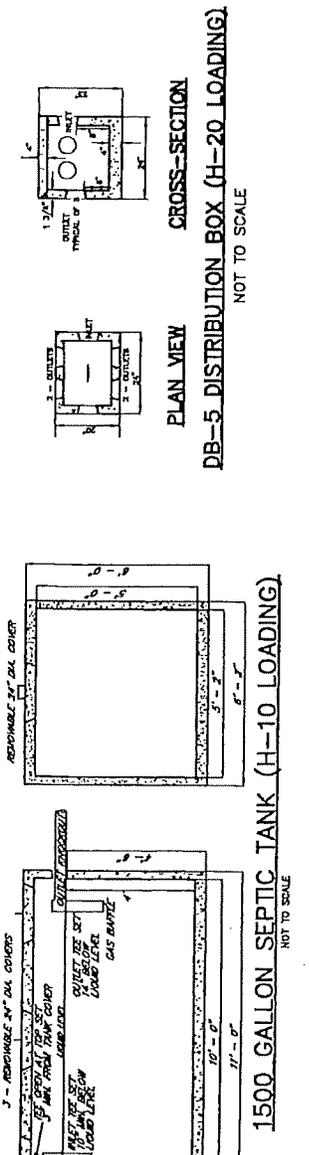
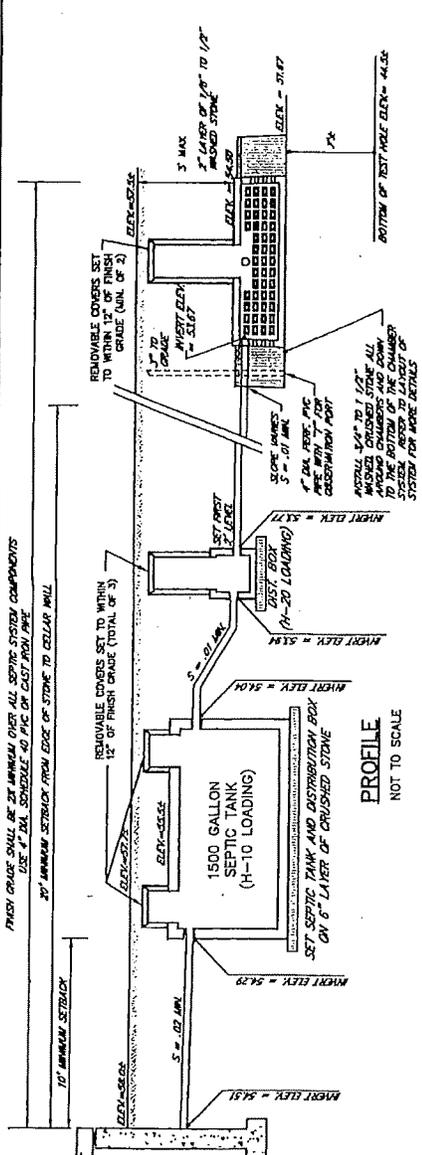
Date of soil test:
 Test taken by:
 Results witnessed by:
 Ground water:

AUGUST 9, 2018
 MICHAEL BORSELLI, P.E.
 BERNIE SULLIVAN
 NONE

BASIS FOR DESIGN:
 TOTAL DAILY FLOW = 110 GPD/PERSON X 3 PERSONS = 330 GPD
 BOTTOM AREA PROPOSED = 341 S.F.
 SOE AREA PROPOSED = 189 S.F.
 TOTAL LEACHING AREA PROPOSED = 520 S.F.
 APPLICATION RATE = 0.24 GPD/S.F.
 DESIGN LEACHING CAPACITY = 127 GPD > 330 GPD

CONSTRUCTION NOTES:

1. INSTALLATION OF THE PROPOSED SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH TITLE 9 AND THE BOARD OF HEALTH REGULATIONS.
2. A COPY OF THE PLANS SHALL BE AVAILABLE ON SITE FOR REFERENCE AT ALL TIMES DURING THE INSTALLATION OF THE SEPTIC SYSTEM.
3. NO CHANGES TO THE DESIGN SHALL BE PERMITTED WITHOUT THE APPROVAL OF BOTH FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH.
4. THE SEPTIC SYSTEM IS SUBJECT TO APPROVAL BY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH.
5. THE CONTRACTOR SHALL NOTIFY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH BY E-MAIL OF ANY CHANGES TO THE DESIGN THAT MAY BE NECESSARY DURING THE INSTALLATION OF THE SEPTIC SYSTEM. IN SOME INSTANCES, MORE THAN ONE SYSTEM MAY BE NEEDED. THE CONTRACTOR SHALL NOTIFY BOTH THE PARTIES OF THE SEPTIC SYSTEM THAT WILL BE NEEDED AND APPROVED BY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH.
6. IF THE CONTRACTOR ENCOUNTERS ANY OBSTACLES AT THE BOUNDARIES, SUCH AS APPROXIMATE SOILS, TOPOGRAPHY, UTILITIES OR OTHER CONDITIONS THAT MAY OCCUR, THE CONTRACTOR SHALL IMMEDIATELY CONTACT FALMOUTH ENGINEERING, INC.



SEPTIC SYSTEM DETAILS
 FOR LOT 2 LOCUSTFIELD ROAD - UNIT 6
 PREPARED FOR
LOCUSTFIELD LLC
 IN
 FALMOUTH, MA

PLAN DATE: JULY 27, 2018 PLAN SCALE: AS SHOWN

CIVIL ENGINEERING
 WASTEWATER DESIGN
 TITLE & PLAT PLANS
 LAND USE PLANNING

WETLANDS PROTECTING
 COASTAL ENGINEERING
 POLE AND DOCKS
 COMERCIAL/RESIDENTIAL

Sealing Covers and Substructures Massachusetts

17 ACADEMY LANE, SUITE 200 - FALMOUTH, MA - 02540 - 508.493.1225
 PROJECT NUMBER: 17092 CAD FILE NAME: 17092DIT DRAWN BY: L.M./D.M.M. SHEET 2 OF 2

500 GALLON LEACHING CHAMBER (H-10 LOADING)
 SCALE: 1" = 2'

PLAN VIEW

8' - 0"

5' - 0"

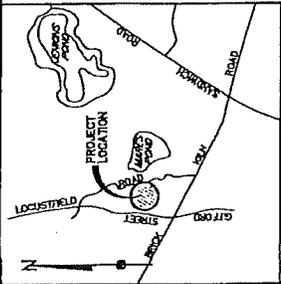
24" DIAMETER COVER

5" KNOCKOUT

5" KNOCKOUT

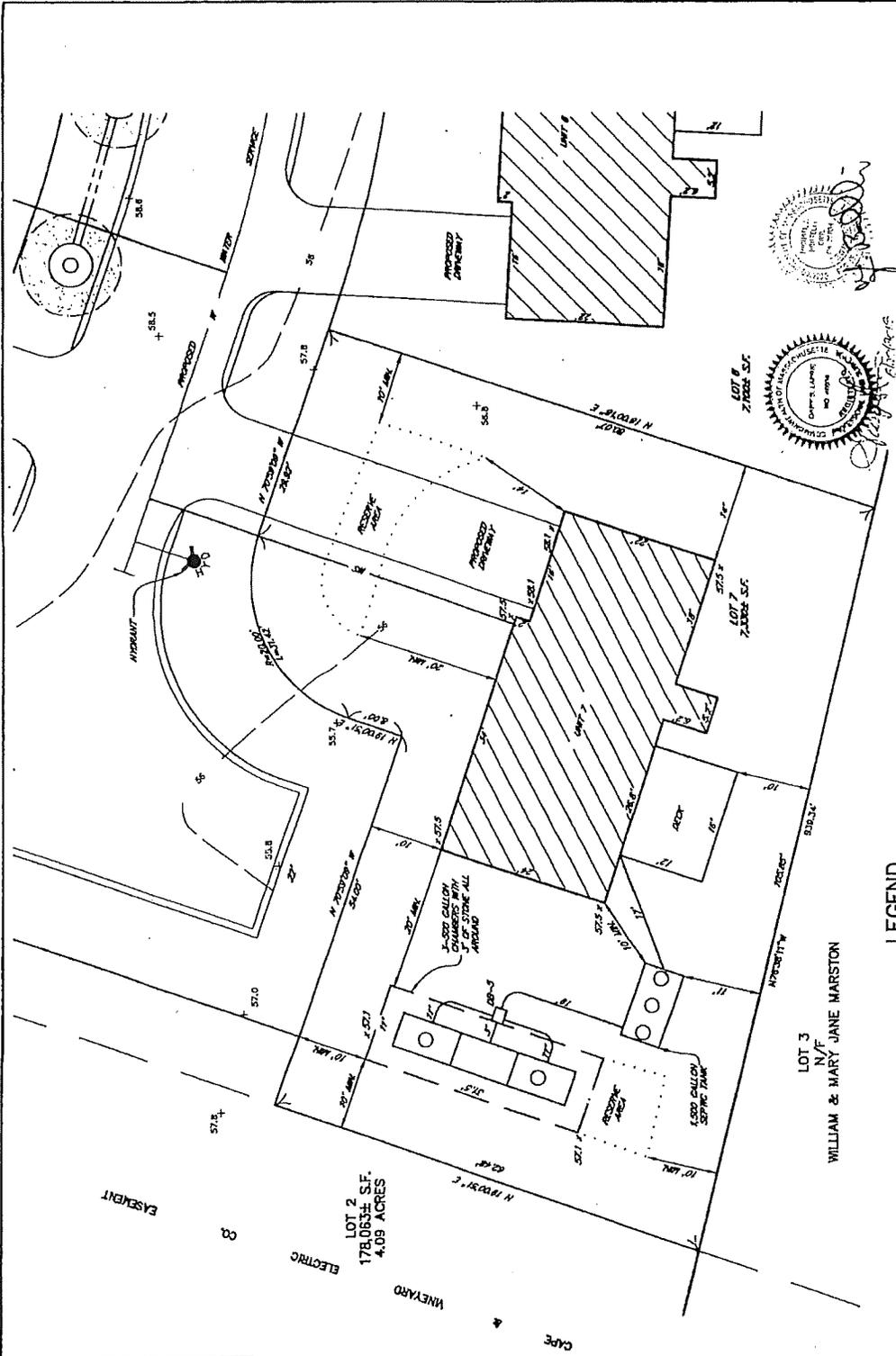
5" KNOCKOUT

5" KNOCKOUT



LOCUSTFIELD
NOT TO SCALE

P.B. 439, PG. 88



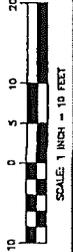
LOT 3
N/F
WILLIAM & MARY JANE MARSTON

GENERAL NOTES:

1. ASSESSOR'S INFORMATION: 27 02 011 002
2. FLOOD ZONE: X (FEMA MAP 25001C0728.)
3. ZONING DISTRICT: AGA
4. WIND EXPOSURE CATEGORY: B
5. OVERLAY DISTRICT: GREAT POND COASTAL POND OVERLAY DISTRICT
6. LOT COVERAGE BY:
 - A. STRUCTURES: 1,392 S.F. / 7,330 S.F. = 19.0%
 - B. STRUCTURES/PARKING/PAVING: 1,867 S.F. / 7,330 S.F. = 25.5%
7. TOPOGRAPHIC INFORMATION COMPILED FROM TOWN GIS MAPS
8. ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988.

LEGEND

- EXISTING 2' CONTOUR
- - - EXISTING 10' CONTOUR
- EXISTING SPOT ELEVATION
- +21.5 PROPOSED SPOT ELEVATION
- +21.0 EXISTING TEST PIT
- EXISTING STONE WALL
- EXISTING HYDRANT
- CONCRETE BOUND WITH DRILL HOLE



SITE PLAN
PREPARED FOR
LOCUSTFIELD LLC
IN
FALMOUTH

PLAN DATE: JULY 27, 2018 PLAN SCALE: 1"=10'

CIVIL ENGINEERING
WASTEWATER DESIGN
TITLE & PLAT PLANS
LAND USE PLANNING

REGISTERED PROFESSIONAL ENGINEER
STATE OF MASSACHUSETTS
No. 10000

17 ACADEMY LANE, SUITE 200 - FALMOUTH, MA - 02540 - 508.495.1225
PROJECT NUMBER: 17092 CAD FILE NAME: 17092SP DRAWN BY: LM/D.M.M. SHEET 1 OF 2

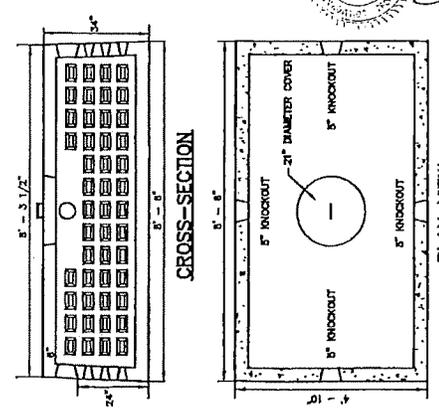
TEST HOLE #1	TEST HOLE #2
0' - 0.75'	0' - 0.75'
0.75' - 1.50'	0.75' - 1.50'
1.50' - 3.00'	1.50' - 3.00'
3.00' - 13.50'	3.00' - 13.50'
LOAMY SAND	LOAMY SAND
COARSE SAND WITH GRAVEL	COARSE SAND WITH GRAVEL

SOIL TEST
 Date of soil tests: AUGUST 9, 2018
 Results prepared by: BENJIE SULLIVAN, P.E.
 Percolation rate: < 2 MIN./INCH IN C
 Ground water: NONE

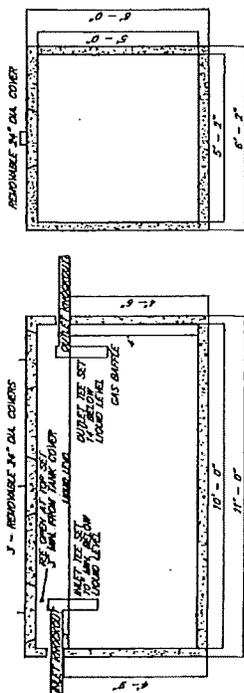
BASIS FOR DESIGN:
 TOTAL DAILY FLOW IS BASED ON 7 RESIDENTS AND CHURCH DISPOSAL
 TOTAL DAILY FLOW = 170 GPD/RESIDUAL X 7 RESIDENTS = 1190 GPD
 BOTTOM AREA PROPOSED = 346 S.F.
 SOIL AREA PROPOSED = 189 S.F.
 TOTAL LEACHING AREA PROPOSED = 510 S.F.
 APPLICATION RATE = 0.34 GPD/S.F.
 DESIGN LEACHING CAPACITY = 177 GPD > 1190 GPD

- CONSTRUCTION NOTES:**
1. INSTALLATION OF THE PROPOSED SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH TITLE 5 AND THE BOARD OF HEALTH REGULATIONS.
 2. A COPY OF THE PLANS SHALL BE AVAILABLE ON SITE FOR REFERENCE AT ALL TIMES DURING THE INSTALLATION OF THE SEPTIC SYSTEM.
 3. NO CHANGES TO THE DESIGN SHALL BE PERMITTED WITHOUT THE APPROVAL OF BOTH FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH.
 4. THE SEPTIC SYSTEM IS SUBJECT TO INSPECTION BY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH.
 5. THE CONTRACTOR SHALL NOTIFY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH IMMEDIATELY UPON RECEIVING ANY INFORMATION THAT MAY AFFECT THE DESIGN OR CONSTRUCTION OF THE SYSTEM THAT MAY BE BEYOND THE CONTROL OF FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH.
 6. IF THE CONTRACTOR ENCOUNTERS ANY OBSTACLES AT THE SITE, SUCH AS CHANGING SOIL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH.

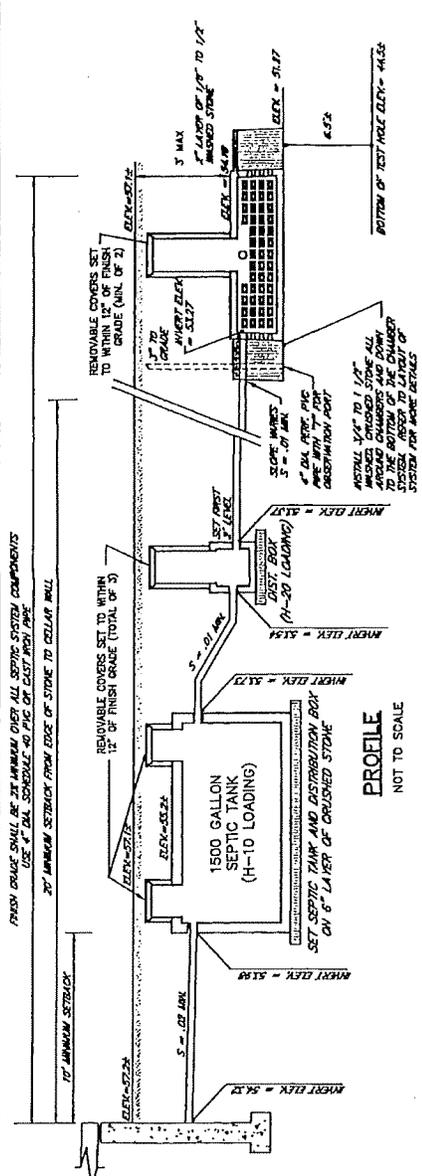
500 GALLON LEACHING CHAMBER (H-10 LOADING)
 SCALE: 1" = 2'



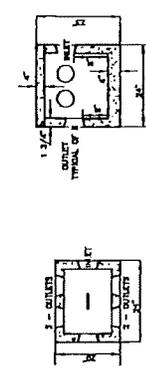
1500 GALLON SEPTIC TANK (H-10 LOADING)
 NOT TO SCALE



PROFILE
 NOT TO SCALE



DB-5 DISTRIBUTION BOX (H-20 LOADING)
 NOT TO SCALE



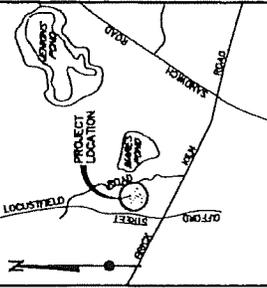
SEPTIC SYSTEM DETAILS
 FOR LOT 2 LOCUSTFIELD ROAD - UNIT 7
 PREPARED FOR
LOCUSTFIELD LLC
 IN
FALMOUTH, MA

PLAN DATE: JULY 27, 2018
 PLAN SCALE: AS SHOWN

CIVIL ENGINEERING
 WASTEWATER DESIGN
 TITLE 5 PLAT PLANS
 LAND USE PLANNING

FALMOUTH ENGINEERING
 17 ACADEMY LANE, SUITE 200 - FALMOUTH, MA - 02540 - 508.495.1225
 PROJECT NUMBER: 17092 CAD FILE NAME: 170920T DRAWN BY: L.M./D.L.M.M. SHEET 2 OF 2

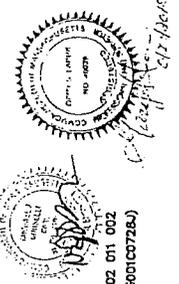
P.B. 439, PG. 98



LOCUST
NOT TO SCALE

LEGEND

- 2' CONTOUR
- 10' CONTOUR
- +21.5 EXISTING SPOT ELEVATION
- +27.0 PROPOSED SPOT ELEVATION
- ⊕ EXISTING TEST PIT
- ⊕ EXISTING STONE WALL
- ⊕ EXISTING HYDRANT
- ⊕ CONCRETE BOUND WITH DRILL HOLE FOUND



GENERAL NOTES:

1. ASSESSOR'S INFORMATION: 27 02 011 002
2. FLOOD ZONE: X (FEMA MAP 25001C0728J)
3. ZONING DISTRICT: AGA
4. WIND EXPOSURE CATEGORY: B
5. OVERLAY DISTRICT: GREAT POND COASTAL POND OVERLAY DISTRICT
6. LOT COVERAGE BY:
 - A. STRUCTURES 1,392 S.F./ 10,400 S.F. = 13.4%
 - B. STRUCTURES/PARKING/PAVING 1,784 S.F./ 10,400 S.F. = 17.0%
7. TOPOGRAPHIC INFORMATION COMPILED FROM TOWN GIS MAPS
8. ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988.

SITE PLAN
 LOT 2 LOCUSTFIELD ROAD - UNIT 8
 PREPARED FOR
LOCUSTFIELD LLC
 IN
 FALMOUTH, MA

PLAN DATE: JULY 27, 2018 PLAN SCALE: 1"=10'



CIVIL ENGINEERING
 WASTEWATER DESIGN
 TITLE & PLOT PLANS
 LAND USE PLANNING

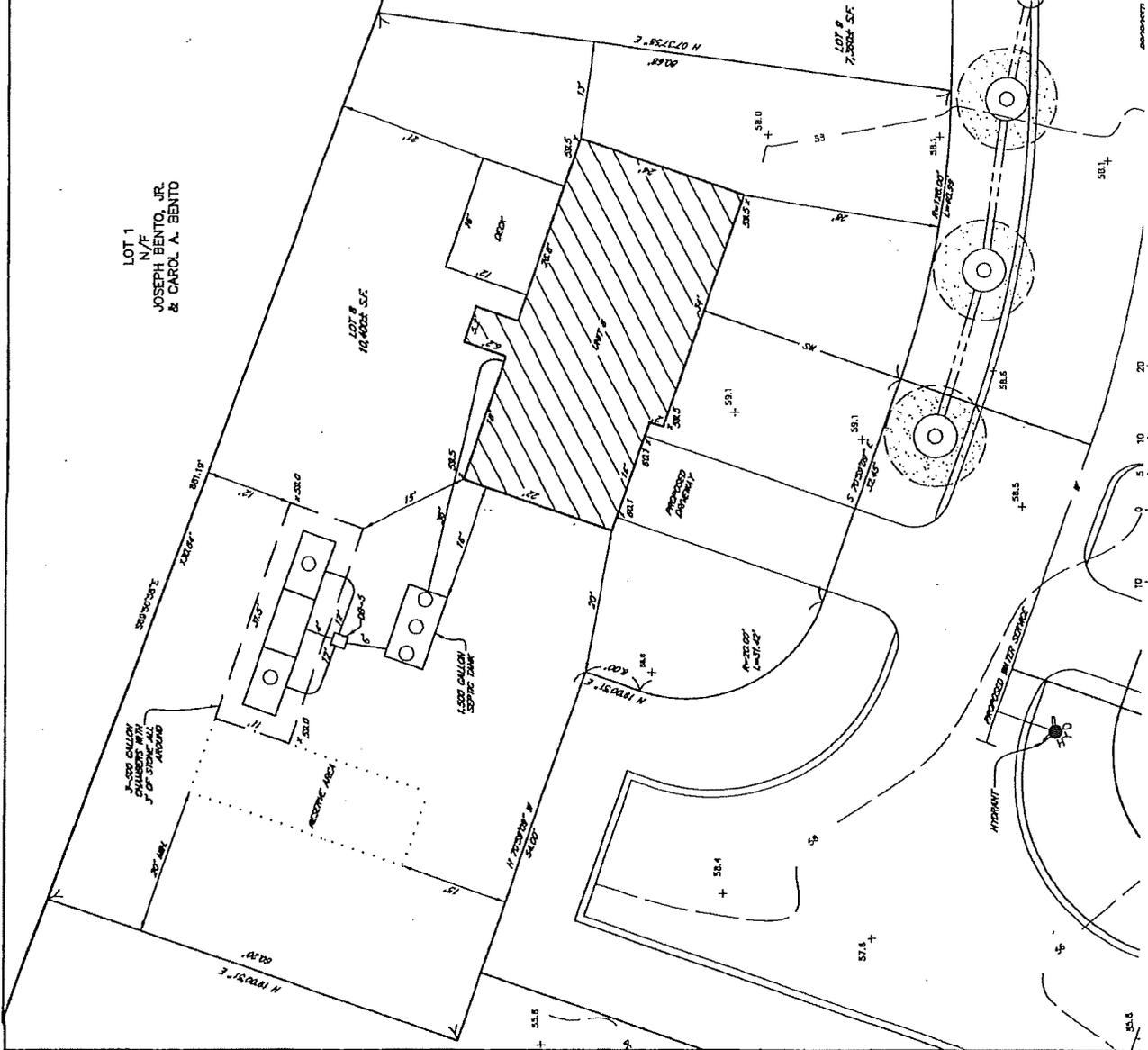
WETLANDS PERMITTING
 COASTAL ENGINEERING
 PIER & DOCKS
 COMMERCIAL/RESIDENTIAL

17 ACADEMY LANE, SUITE 200 - FALMOUTH, MA - 02540 - 508-465.1225
 PROJECT NUMBER: 17092 CAD FILE NAME: 17092SP DRAWN BY: LM/D.M.M. SHEET 1 OF 2

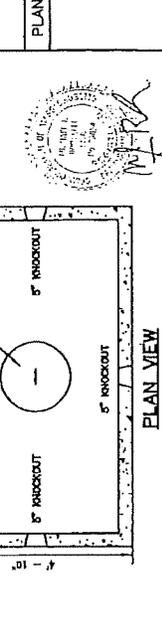
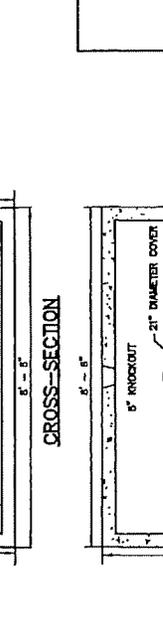
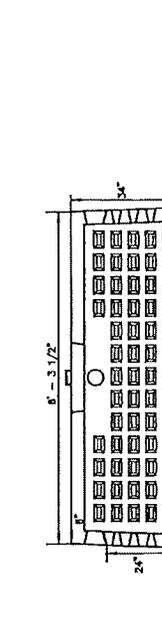
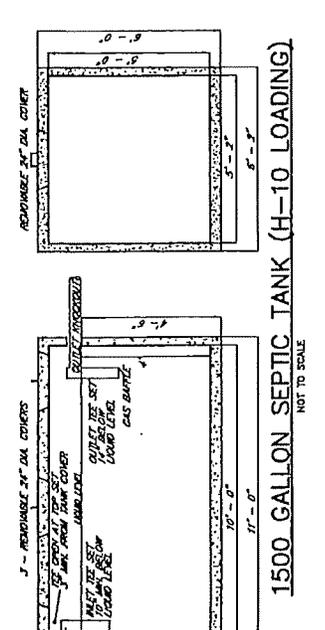
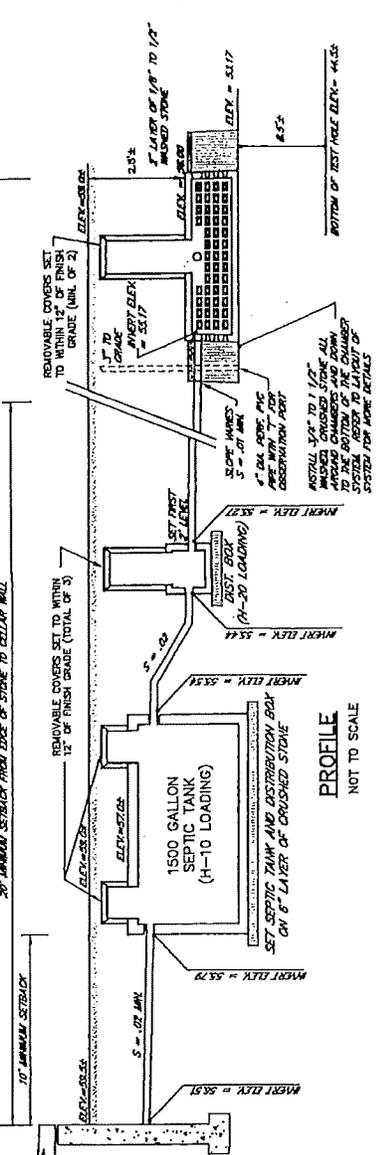
LOT 1
 N/F
 JOSEPH BENTO, JR.
 & CAROL A. BENTO

LOT 8
 10,400 S.F.

LOT 9
 7,300 S.F.



FINISH GRADE SHALL BE 24 MINIMUM OVER ALL SEPTIC SYSTEM COMPONENTS
USE 4" DIA. SCHEDULE 40 PIP OR CAST IRON PIPE
24" MINIMUM STRUTTED IRON RING OF STONE TO COLLAR WALL



TEST HOLE #1	TEST HOLE #2
0' - 4' D/E	0' - 4' D/E
4' - 8' LOAMT SAND	4' - 8' LOAMT SAND
8' - 12' COURSE SAND WITH GRAVEL	8' - 12' COURSE SAND WITH GRAVEL
12' - 13'	12' - 13'

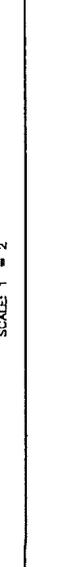
SOIL TEST
Date of soil test: AUGUST 9, 2018
Permitted by: BEHNE CONSULTANTS, P.E.
Percolation rate: < 2 MIN./INCH IN C
Ground water: NONE

BASIS FOR DESIGN:
TOTAL DAILY FLOW IS BASED ON 3 BEDROOMS AND GARAGE DISPOSAL
TOTAL DAILY FLOW = 110 GPD/PERSON X 3 BEDROOMS = 330 GPD
BOTTOM AREA PROPOSED = 461 S.F.
SEPT. AREA PROPOSED = 160 S.F.
TOTAL LEACHING AREA PROPOSED = 510 S.F.
APPLICATION RATE = 0.21 GPD/S.F.
DESIGN LEACHING CAPACITY = 377 GPD > 330 GPD

CONSTRUCTION NOTES:

1. INSTALLATION OF THE PROPOSED SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH TITLE 5 AND THE BOARD OF HEALTH REGULATIONS.
2. VERIFY THE EXISTING UTILITIES ON THE SITE FOR REFERENCE AT ALL TIMES DURING THE INSTALLATION OF THE SEPTIC SYSTEM.
3. NO CHANGES TO THE DESIGN SHALL BE PERMITTED WITHOUT THE APPROVAL OF BOTH FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH.
4. THE SEPTIC SYSTEM IS SUBJECT TO INSPECTION BY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH.
5. THE CONTRACTOR SHALL NOTIFY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH OF ANY CHANGES TO THE DESIGN THAT MAY AFFECT THE PROTECTION OF THE SEPTIC SYSTEM THAT MAY BE NEEDED. THE CONTRACTOR SHALL ONLY ACCESS THE PORTIONS OF THE SYSTEM THAT MAY BE NEEDED AND APPROVED BY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH.
6. IF THE CONTRACTOR ENCOUNTERS ANY HAZARDOUS IN-SITE CONDITIONS, SUCH AS DRIPPING OIL OR OTHER CONTAMINANTS, THE CONTRACTOR SHALL IMMEDIATELY CONTACT FALMOUTH ENGINEERING, INC.

500 GALLON LEACHING CHAMBER (H-10 LOADING)
SCALE: 1" = 2'



PROFILE
NOT TO SCALE

CROSS-SECTION
NOT TO SCALE

PLAN VIEW
NOT TO SCALE

1500 GALLON SEPTIC TANK (H-10 LOADING)
NOT TO SCALE

DB-5 DISTRIBUTION BOX (H-20 LOADING)
NOT TO SCALE

SEPTIC SYSTEM DETAILS

FOR LOT 2 LOCUSTFIELD ROAD - UNIT 8
PREPARED FOR
LOCUSTFIELD LLC
IN
FALMOUTH, MA

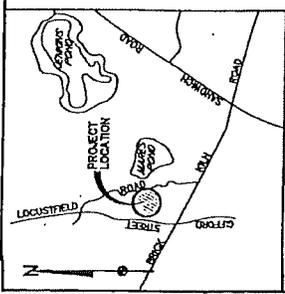
PLAN DATE: JULY 27, 2018
PLAN SCALE: AS SHOWN



CIVIL ENGINEERING
WASTEWATER DESIGN
TITLE 8 PLOT PLANS
LAND USE PLANNING

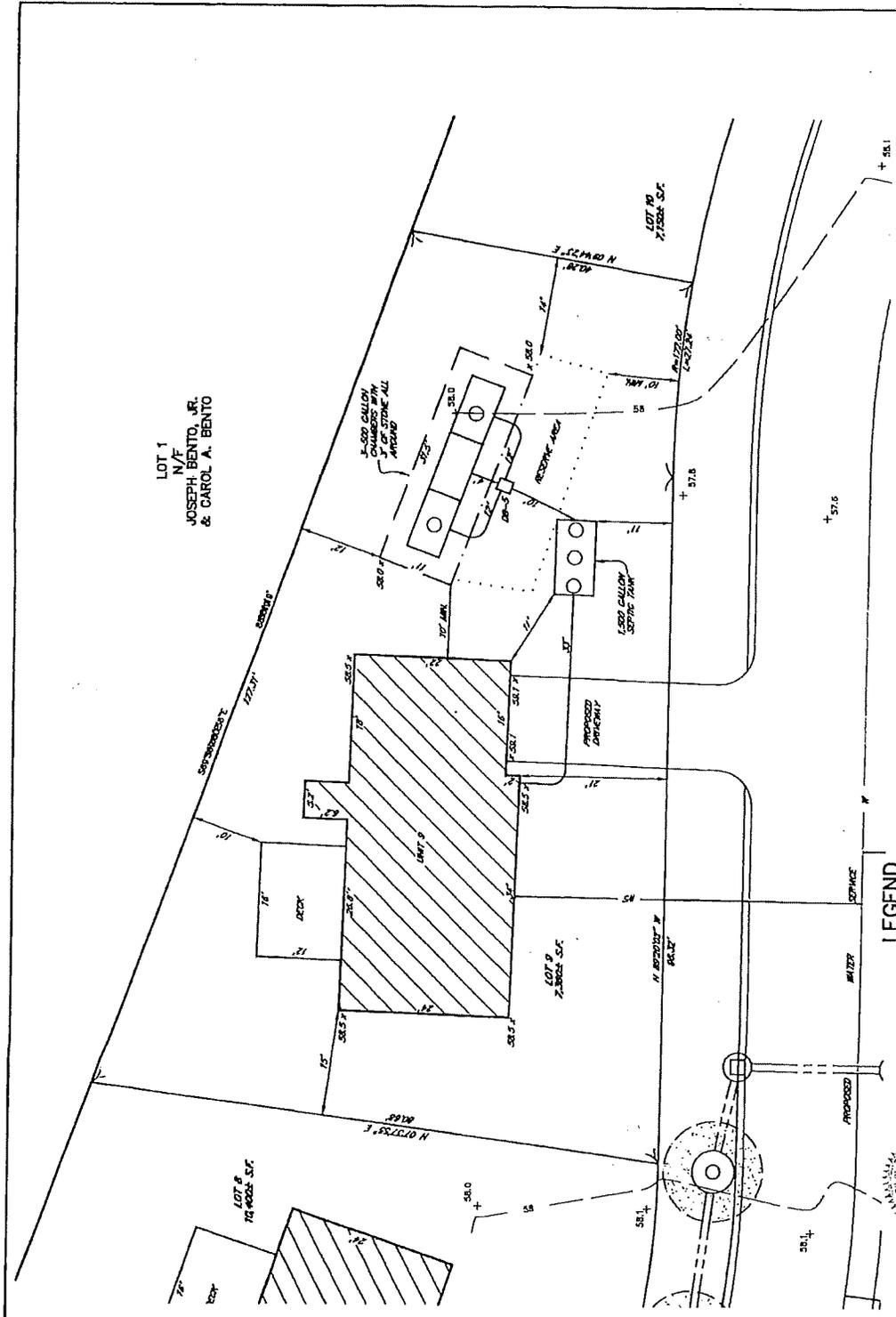
WELLSBORO ENGINEERING
CIVIL ENGINEERING
PIPING AND DOCS
COMMERCIAL/RESIDENTIAL

17 ACADEMY LANE, SUITE 200 - FALMOUTH, MA - 02540 - 508-493-1225
PROJECT NUMBER: 17092 | CAD FILE NAME: 17092.DWT | DRAWN BY: L.W./D.M.M. | SHEET 2 OF 2



LOCUS
NOT TO SCALE

P.B. 439, PG. 9B



SITE PLAN
LOT 2 LOCUSTFIELD ROAD - UNIT 9
 PREPARED FOR
LOCUSTFIELD LLC
 IN
 FALMOUTH, MA

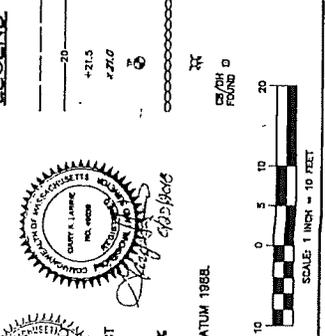
PLAN DATE: JULY 27, 2018 PLAN SCALE: 1"=10'

CIVIL ENGINEERING
 WATERWORKS DESIGN
 TITLE & PLOT PLANS
 LAND USE PLANNING

WETLANDS PERMITTING
 COUNCIL ENGINEERING
 FENCE AND DOORS
 COMMERCIAL/RESIDENTIAL

17 ACADEMY LANE, SUITE 200 - FALMOUTH, MA - 02540 - 508.495.1225
 PROJECT NUMBER: 17092 CAD FILE NAME: 17092SP DRAWN BY: L.M./D.M.M. SHEET 1 OF 2

- LEGEND**
- EXISTING 2' CONTOUR
 - EXISTING 10' CONTOUR
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - EXISTING TEST PIT
 - EXISTING STONE WALL
 - EXISTING HYDRANT
 - CONCRETE BOUND WITH DRILL HOLE



- GENERAL NOTES:**
- ASSESSOR'S INFORMATION: 27 02 011 002
 - FLOOD ZONE: X (FEMA MAP 2500(C0728))
 - ZONING DISTRICT: ACA
 - WIND EXPOSURE CATEGORY: B
 - OVERLAY DISTRICT: GREAT POND COASTAL POND OVERLAY DISTRICT
 - LOT COVERAGE BY:
 - STRUCTURES/PARKING/PAVING: 1,064 S.F. / 7,360 S.F. = 14.4%
 - STRUCTURES/PARKING/PAVING: 1,064 S.F. / 7,360 S.F. = 22.6%
 - TOPOGRAPHIC INFORMATION COMPILED FROM TOWN GIS MAPS
 - ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988.

TEST HOLE #1	TEST HOLE #2
0' - 0.5'	0' - 0.5'
0.5' - 3.0'	0.5' - 3.0'
3.0' - 30.0'	3.0' - 30.0'
30.0' - 132.0'	30.0' - 132.0'
LOAMY SAND	LOAMY SAND
COARSE SAND WITH GRAVEL	COARSE SAND WITH GRAVEL

SOIL TEST

Date of soil test: AUGUST 5, 2018
 Test taken by: MICHAEL BORSSELLI, P.E.
 Test taken by: BENJAMIN SULLIVAN, IN C.
 Precipitation rate: NONE
 Ground water: NONE

BASIS FOR DESIGN:

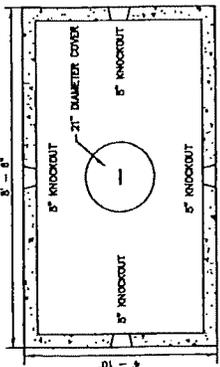
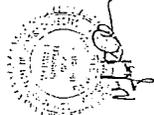
- TOTAL DAILY FLOW IS BASED ON 3 BEDROOMS, NO GARAGE DISPOSAL
- TOTAL DAILY FLOW = 170 GPD/BEDROOM X 3 BEDROOMS = 510 GPD
- BOTTOM AREA PROPOSED = 341 SF
- SURFACE AREA PROPOSED = 149 SF
- TOTAL LEACHING AREA PROPOSED = 570 SF
- APPLICATION RATE = 0.74 GPD/SF
- DESIGN LEACHING CAPACITY = 377 GPD > 510 GPD

CONSTRUCTION NOTES:

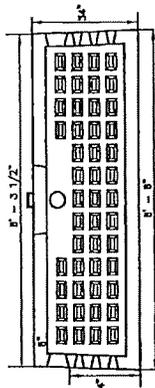
- INSTALLATION OF THE PROPOSED SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH TITLE 5 AND THE BOARD OF HEALTH REGULATIONS
- A COPY OF THE PLANS SHALL BE AVAILABLE ON SITE FOR REFERENCE AT ALL TIMES DURING THE INSTALLATION OF THE SEPTIC SYSTEM
- NO CHANGES TO THE DESIGN SHALL BE PERFORMED WITHOUT THE APPROVAL OF BOTH FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH
- THE SEPTIC SYSTEM IS SUBJECT TO INSPECTION BY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH
- THE CONTRACTOR SHALL NOTIFY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH TO INSPECT THE SEPTIC SYSTEM PRIOR TO BACKFILL. IN SOME INSTANCES, MORE THAN ONE INSPECTION MAY BE REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEPTIC SYSTEM THAT HAS BEEN INSPECTED AND APPROVED BY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH
- IF THE CONTRACTOR ENCOUNTERS ANY OBSTRUCTIONS IN SITE CONDITIONS, SUCH AS DEPTHS OF SOILS, OBSTRUCTIONS, UTILITIES OR OTHER CONDITIONS THAT MAY AFFECT THE EVALUATION OF THE DESIGN, THE CONTRACTOR SHALL IMMEDIATELY CONTACT FALMOUTH ENGINEERING, INC.

500 GALLON LEACHING CHAMBER (H-10 LOADING)

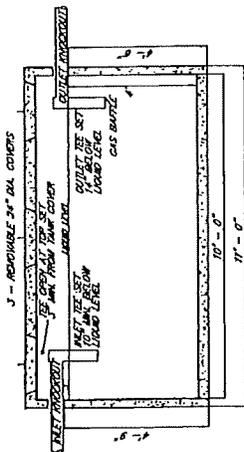
SCALE: 1" = 2'



PLAN VIEW

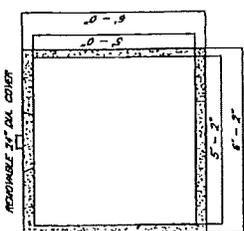


CROSS-SECTION

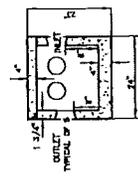


1500 GALLON SEPTIC TANK (H-10 LOADING)

NOT TO SCALE

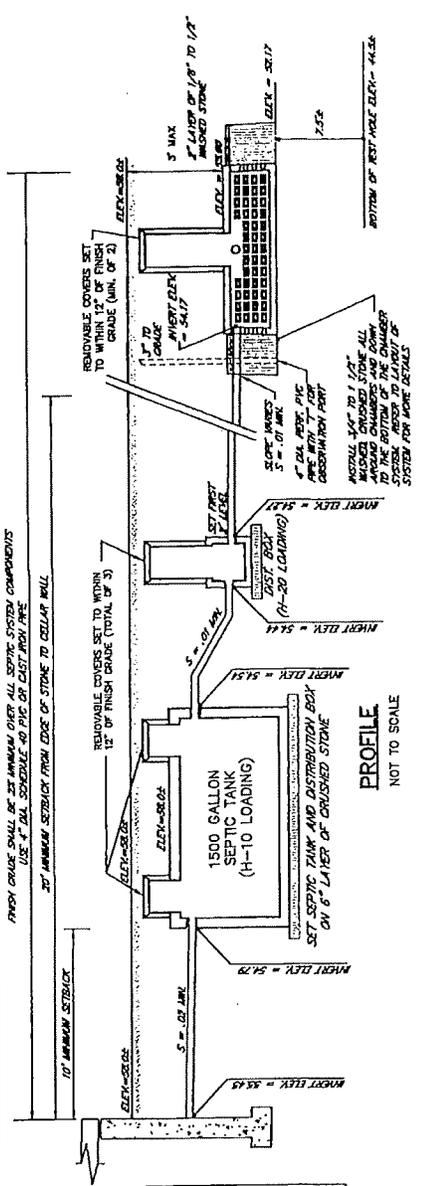


CROSS-SECTION



DB-5 DISTRIBUTION BOX (H-20 LOADING)

NOT TO SCALE



PROFILE

NOT TO SCALE

SEPTIC SYSTEM DETAILS
 FOR LOT 2 LOCUSTFIELD ROAD - UNIT 9
 PREPARED FOR
LOCUSTFIELD LLC
 IN
 FALMOUTH, MA

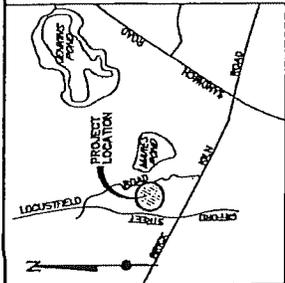
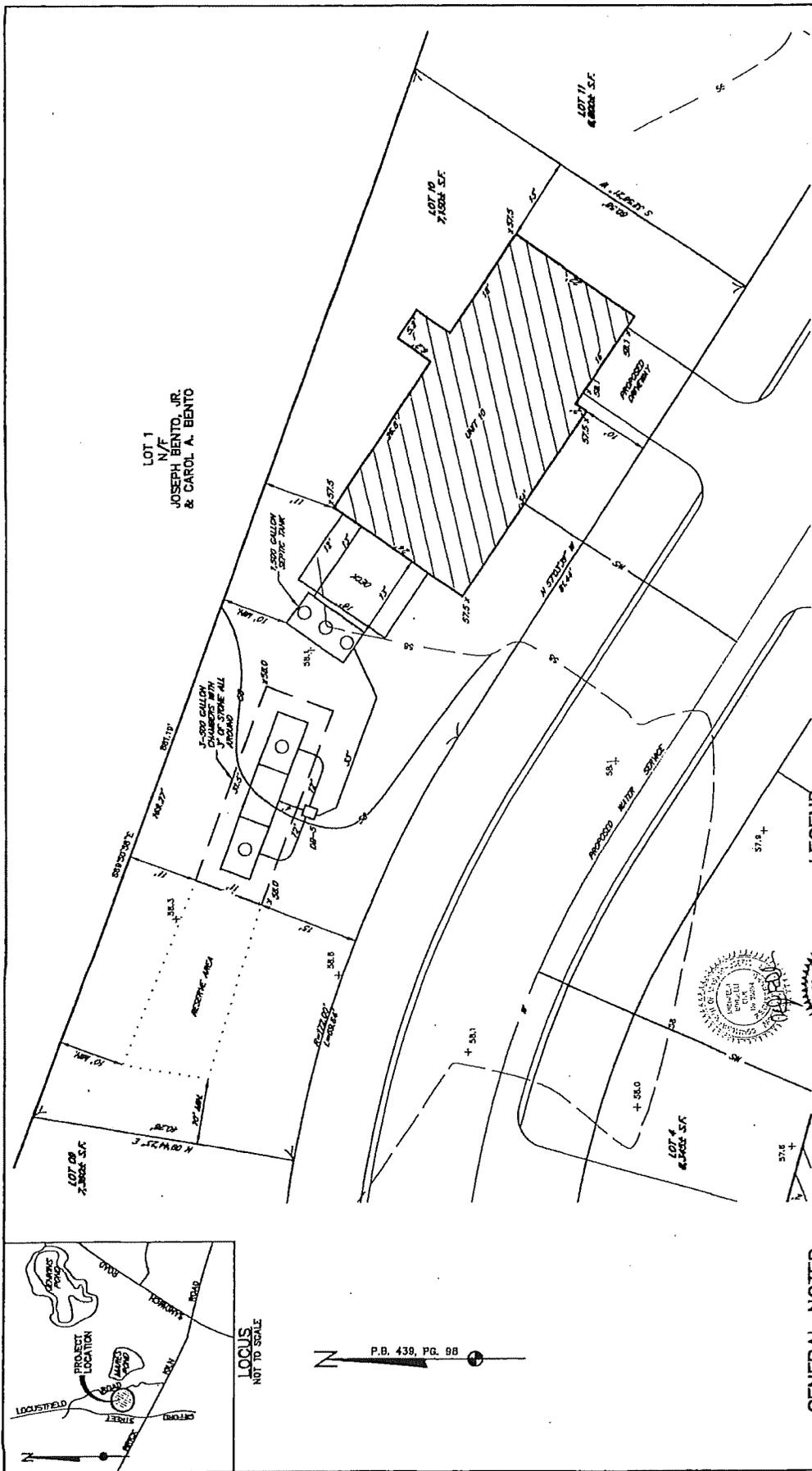
PLAN DATE: JULY 27, 2018
 PLAN SCALE: AS SHOWN

CIVIL ENGINEERING
 WASTEWATER DESIGN
 TITLE 5 PLOT PLANS
 LAND USE PLANNING

WETLANDS MONITORING
 CAPITAL ENGINEERING
 PERMITS AND DOCS
 COMMERCIAL/RESIDENTIAL

177 ACADNEY LANE, SUITE 200 - FALMOUTH, MA - 02540 - 508.485.1225

PROJECT NUMBER: 170920T CAD FILE NAME: 170920T DRAWN BY: L.M./D.M./M. SHEET 2 OF 2



LOCUSTFIELD
NOT TO SCALE

P.B. 438, PG. 98

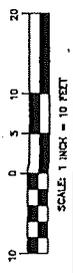
GENERAL NOTES:

1. ASSESSOR'S INFORMATION: 27 02 011 002
2. FLOOD ZONE: X (FEMA MAP 2500100726U)
3. ZONING DISTRICT: AGA
4. WIND EXPOSURE CATEGORY: B
5. OVERLAY DISTRICT: GREAT POND COASTAL POND OVERLAY DISTRICT
6. LOT COVERAGE BY:
 - A. STRUCTURES: 1,392 S.F./ 7,150 S.F. = 19.5%
 - B. STRUCTURES/PARKING/PAVING: 1,538 S.F./ 7,150 S.F. = 21.5%
7. TOPOGRAPHIC INFORMATION COMPILED FROM TOWN GIS MAPS
8. ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988.



LEGEND

- EXISTING 2' CONTOUR
- - - EXISTING 10' CONTOUR
- +21.5 EXISTING SPOT ELEVATION
- +21.0 PROPOSED SPOT ELEVATION
- ⊙ EXISTING TEST PIT
- EXISTING STONE WALL
- EXISTING HYDRANT
- CONCRETE BOUND WITH DRILL HOLE



SITE PLAN
PREPARED FOR
LOCUSTFIELD LLC
IN
FALMOUTH MA

PLAN DATE: JULY 27, 2018 PLAN SCALE: 1"=10'

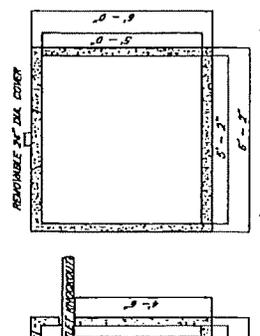
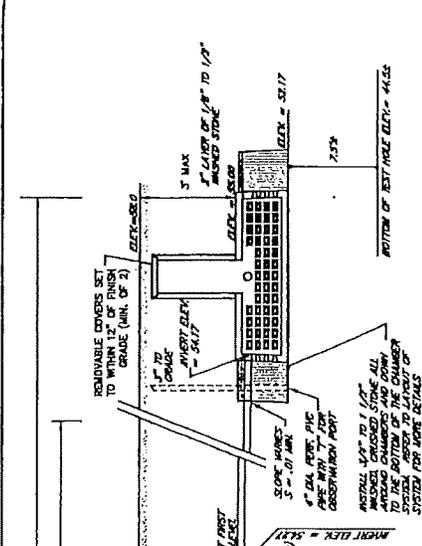
ENGINEERING
WATERWAY DESIGN
TITLE 3 PLAN PLANS
LAND USE PLANNING



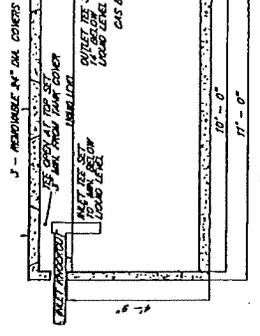
WETLANDS PLANNING
COASTAL ENGINEERING
POND AND DOCKS
COMMERCIAL/RESIDENTIAL

Simply Clear Call and Specifications Measurements

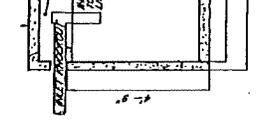
17 ACADEMY LANE, SUITE 200 - FALMOUTH, MA - 02540 - 508.485.1225
PROJECT NUMBER: 17092 CAD FILE NAME: 17092SP DRAWN BY: L.M./D.M.M. SHEET 1 OF 2



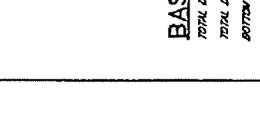
1500 GALLON SEPTIC TANK (H-10 LOADING)
NOT TO SCALE



CROSS-SECTION
NOT TO SCALE



500 GALLON LEACHING CHAMBER (H-10 LOADING)
SCALE: 1" = 2'



CROSS-SECTION
NOT TO SCALE

TEST HOLE #1	TEST HOLE #2
0' - 1' D/E	0' - 1' D/E
1' - 3' LOAM SAND	1' - 3' LOAM SAND
3' - 13' COARSE SAND WITH GRAVEL	3' - 13' COARSE SAND WITH GRAVEL

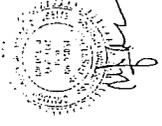
SOIL TEST
DATE OF TEST: AUGUST 6, 2018
TEST TAKEN BY: MICHAEL BROSSELLI, P.E.
RESULTS WITNESSED BY: BERNIE SULLIVAN
PENETRATION RATE: < 2 MIN./INCH IN C
GROUND WATER: NONE

BASIS FOR DESIGN:

- TOTAL DAILY FLOW IS BASED ON 3 BEDROOMS, NO GARBAGE DISPOSAL
- TOTAL DAILY FLOW = 110 GPM, BEDROOMS 3, J. BEDROOMS = 330 GPD
- BOTTOM AREA PROPOSED = 341 SF
- SOE AREA PROPOSED = 180 SF
- TOTAL LEACHING AREA PROPOSED = 570 SF
- APPLICATION RATE = 0.24 GPD/SF
- DESIGN LEACHING CAPACITY = 375 GPD > 330 GPD

CONSTRUCTION NOTES:

- INSTALLATION OF THE PROPOSED SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH RULE 3 AND THE BOARD OF HEALTH REGULATIONS
- A COPY OF THE PLANS SHALL BE AVAILABLE ON SITE FOR REFERENCE AT ALL TIMES DURING THE INSTALLATION OF THE SEPTIC SYSTEM
- NO CHANGES TO THE DESIGN SHALL BE PERFORMED WITHOUT THE APPROVAL OF BOTH FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH
- THE SEPTIC SYSTEM IS SUBJECT TO INSPECTION BY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH
- THE CONTRACTOR SHALL NOTIFY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH TO INSPECT THE SEPTIC SYSTEM PRIOR TO BACKFILL. IN SOME INSTANCES MORE THAN ONE INSPECTION MAY BE REQUIRED. THE CONTRACTOR SHALL ONLY BACKFILL THE PORTIONS OF THE SEPTIC SYSTEM THAT HAVE BEEN INSPECTED AND APPROVED BY FALMOUTH ENGINEERING, INC. AND THE BOARD OF HEALTH
- IF THE CONTRACTOR OBSERVES ANY VIOLATIONS IN SITE CONDITIONS, SUCH AS INTERFERING WITH THE SEPTIC SYSTEM OR OTHER VIOLATIONS, THE CONTRACTOR SHALL IMMEDIATELY CONTACT FALMOUTH ENGINEERING, INC.



500 GALLON LEACHING CHAMBER (H-10 LOADING)
SCALE: 1" = 2'

SEPTIC SYSTEM DETAILS
FOR LOT 2 LOCUSTFIELD ROAD - UNIT 10
PREPARED FOR
LOCUSTFIELD LLC
IN
FALMOUTH, MA

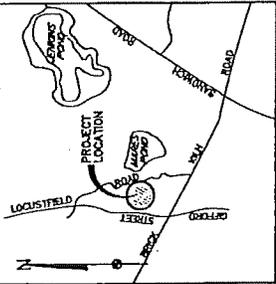
PLAN DATE: JULY 27, 2018 PLAN SCALE: AS SHOWN

DIGL ENGINEERING
WASTEWATER DESIGN
TITLE & PLAT PLANS
LAND USE PLANNING

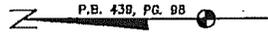
WELLS PRINTING
CAPITAL ENGINEERING
FIRM AND BOOKS
COMMERCIAL/RESIDENTIAL

17 ACADNEY LANE, SUITE 200 - FALMOUTH, MA - 02540 - 508.495.1235

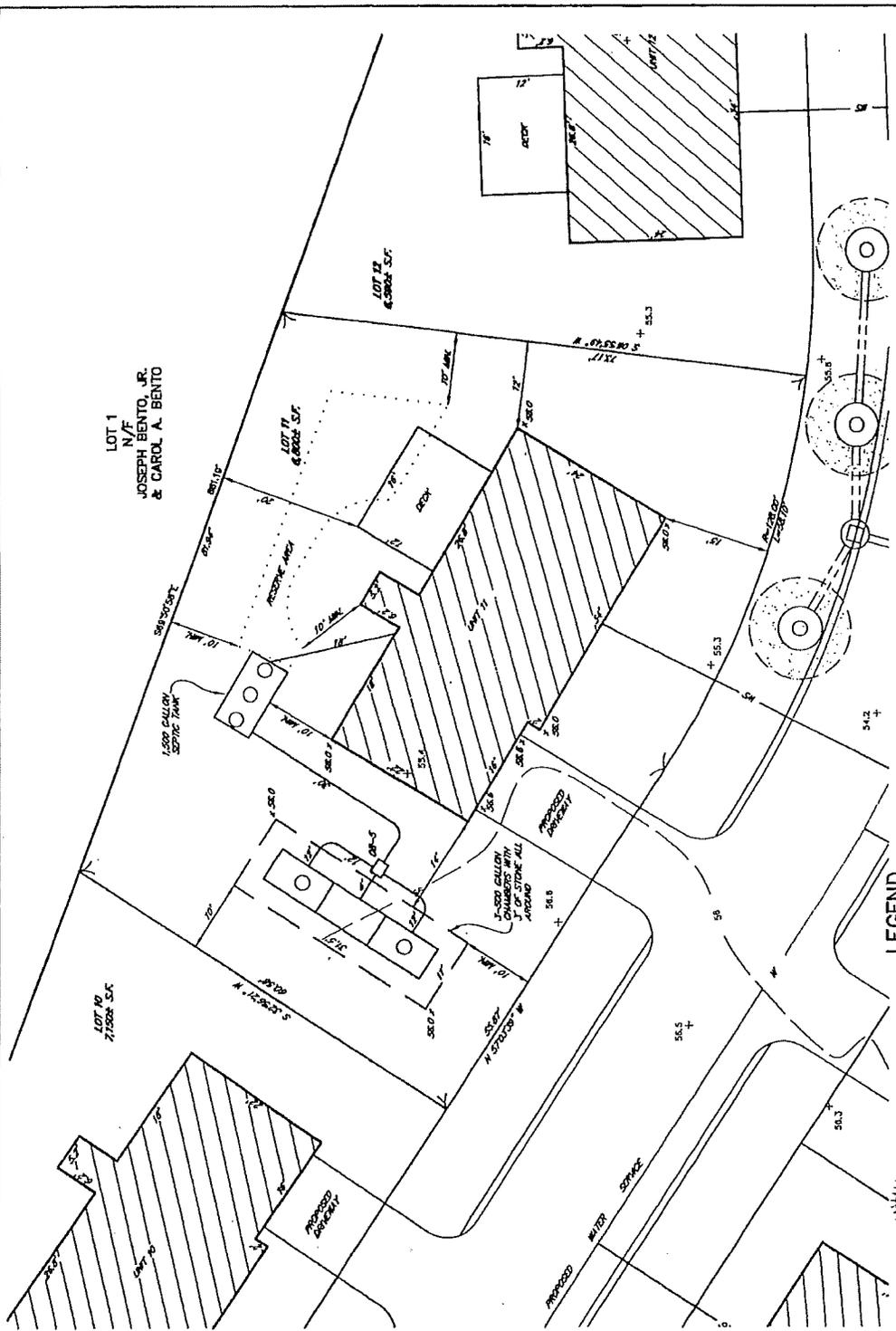
PROJECT NUMBER: 17092 CAD FILE NAME: 170920T [DRAWN BY: L.M./D.W.M.] SHEET 2 OF 2



LOCUSTFIELD
NOT TO SCALE



P.B. 439, PG. 08



GENERAL NOTES:

1. ASSESSOR'S INFORMATION: 27 02 011 002
2. FLOOD ZONE: X (FEMA MAP 25001C0728U)
3. ZONING DISTRICT: AGA
4. WIND EXPOSURE CATEGORY: B
5. OVERLAY DISTRICT: GREAT POND COASTAL POND OVERLAY DISTRICT
6. LOT COVERAGE BY:
 - A. STRUCTURES: 1,392 S.F./ 6,800 S.F. = 20.5%
 - B. STRUCTURES/PARKING/PAVING: 1,824 S.F./ 6,800 S.F. = 23.9%
7. TOPOGRAPHIC INFORMATION COMPILED FROM TOWN GIS MAPS
8. ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988.



Handwritten signature and date: 6/26/18

LEGEND

- 20 --- EXISTING 2' CONTOUR
- 10' --- EXISTING 10' CONTOUR
- 21.5 --- EXISTING SPOT ELEVATION
- 21.0 --- PROPOSED SPOT ELEVATION
- EXISTING TEST PIT
- EXISTING STONE WALL
- EXISTING HYDRANT
- CONCRETE BOUND WITH DRILL HOLE

SITE PLAN
LOT 2 LOCUSTFIELD ROAD -- UNIT 11
PREPARED FOR
LOCUSTFIELD LLC
IN
FALMOUTH, MA

PLAN DATE: JULY 27, 2018
PLAN SCALE: 1"=10'

CIVIL ENGINEERING
WATERWATER DESIGN
TITLE 9 PLOT PLANS
LAND USE PLANNING

REGISTERED PROFESSIONAL
CIVIL ENGINEERING
PIRE AND DODDS
CORPORATION/RESIDENTIAL

Shirley Cook, Chief and Superintendent

17 ACADEMY LANE, SUITE 200 -- FALMOUTH, MA -- 02540 -- 508-485-1225
PROJECT NUMBER: 1709252 | CAD FILE NAME: 1709252P | DRAWN BY: L.M./D.M.M. | SHEET 1 OF 2

TEST HOLE #1	TEST HOLE #2
0' - 0/E	0' - 0/E
0' - 6"	0' - 6"
LOAMY SAND	LOAMY SAND
30"	30"
COURSE SAND WITH GRAVEL	COURSE SAND WITH GRAVEL
135"	135"

SOIL TEST
 Date of soil tests: AUGUST 9, 2018
 Location: LOT 2, P.E.
 Results obtained by: DENISE SULLIVAN
 Percolation rate: < 2 MIN./INCH IN C
 Ground water: NONE

BASIS FOR DESIGN:

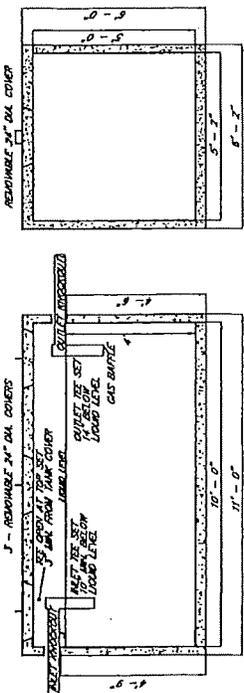
TOTAL DAILY FLOW IS BASED ON 3 BEDROOMS AND GARAGE DETACHMENT
 TOTAL DAILY FLOW = 110 GPD/BEDROOM X 3 BEDROOMS = 330 GPD
 BATHING AREA PROPOSED = 300 SF
 SEE AREA PROPOSED = 180 SF
 TOTAL LEACHING AREA PROPOSED = 510 SF
 APPLICATION RATE = 0.24 GPD/SF
 DESIGN LEACHING CAPACITY = 377 GPD > 330 GPD

CONSTRUCTION NOTES:

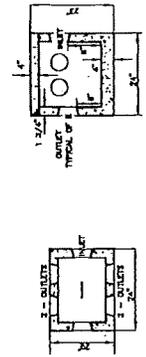
1. INSTALLATION OF THE PROPOSED SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH TITLE 5 AND THE BOARD OF HEALTH REGULATIONS.
2. COPY OF THE PLANS SHALL BE SUBMITTED TO THE BOARD OF HEALTH PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN APPROVAL OF BOTH THE BOARD OF HEALTH AND THE BOARD OF SELECTMEN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE BOARD OF HEALTH AND THE BOARD OF SELECTMEN.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE BOARD OF HEALTH AND THE BOARD OF SELECTMEN.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE BOARD OF HEALTH AND THE BOARD OF SELECTMEN.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE BOARD OF HEALTH AND THE BOARD OF SELECTMEN.

IF THE CONTRACTOR ENCOUNTERS ANY OBSTACLES IN SITE CONDITIONS, SUCH AS UNDESIRABLE SOIL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY FALMOUTH ENGINEERING, INC.

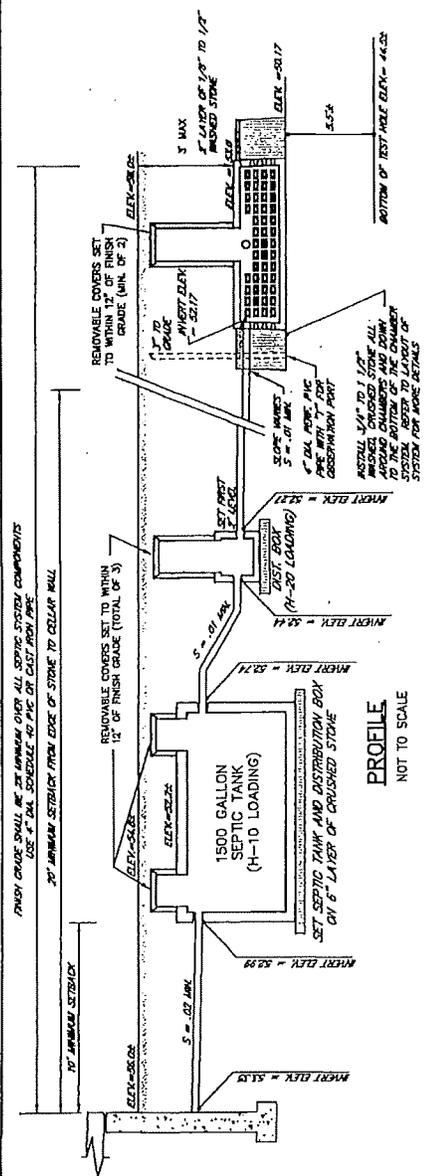
500 GALLON LEACHING CHAMBER (H-10 LOADING)
 SCALE: 1" = 2'



1500 GALLON SEPTIC TANK (H-10 LOADING)
 NOT TO SCALE



DB-5 DISTRIBUTION BOX (H-20 LOADING)
 NOT TO SCALE



SEPTIC SYSTEM DETAILS

FOR LOT 2 LOCUSTFIELD ROAD - UNIT 11
 PREPARED FOR
LOCUSTFIELD LLC
 IN
 FALMOUTH MA

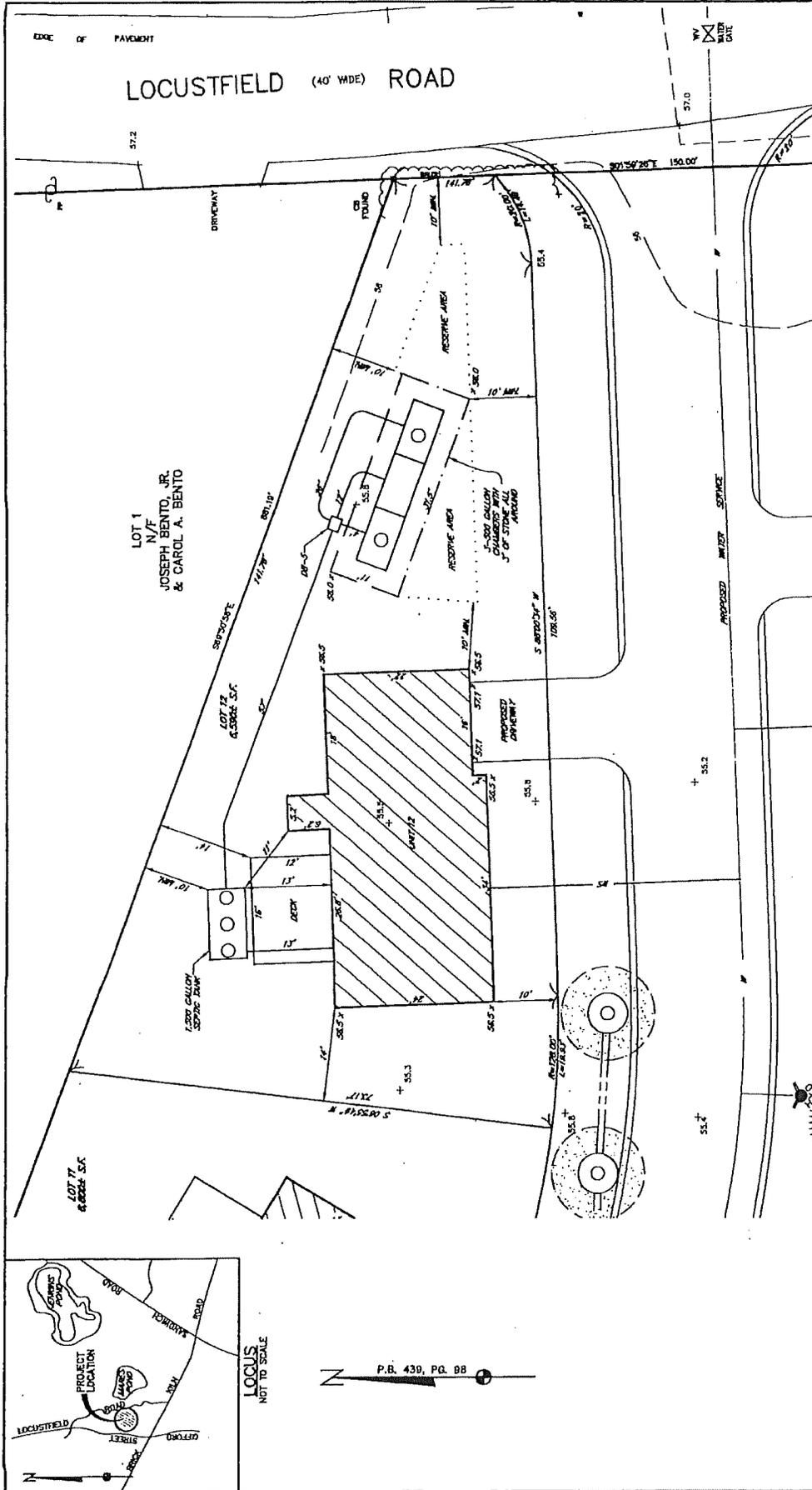
PLAN DATE: JULY 27, 2018 PLAN SCALE: AS SHOWN

CIVIL ENGINEERING
 WATERWATER DESIGN
 TITLE 8 PLAT PLANS
 LAND USE PLANNING

FALMOUTH ENGINEERS

REGISTERED PROFESSIONAL ENGINEERS
 CIVIL ENGINEERING
 WATERWATER DESIGN
 TITLE 8 PLAT PLANS
 LAND USE PLANNING

17 ACADEMY LANE, SUITE 200 - FALMOUTH, MA - 02540 - 508-485-1225
 PROJECT NUMBER: 17092T CAD FILE NAME: 17092T DRAWN BY: L.W./D.J.M. SHEET 2 OF 2



EDGE OF PAVEMENT

LOCUSTFIELD (40' WIDE) ROAD

LOT 1
N/F
JOSEPH BENTO, JR.
& CAROL A. BENTO

LOT 12
6,530 S.F.

LOT 17
6,806 S.F.

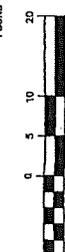
GENERAL NOTES:

1. ASSESSOR'S INFORMATION: 27 02 011 002
2. FLOOD ZONE: X (FEMA MAP 25001C0728U)
3. ZONING DISTRICT: AGA
4. WIND EXPOSURE CATEGORY: B
5. OVERLAY DISTRICT: GREAT POND COASTAL POND OVERLAY DISTRICT
6. LOT COVERAGE BY:
 - A. STRUCTURES: 1,392 S.F./ 6,590 S.F. = 21.1%
 - B. STRUCTURES/PARKING/PAVING: 1,532 S.F./ 6,590 S.F. = 23.2%
7. TOPOGRAPHIC INFORMATION COMPILED FROM TOWN GIS MAPS
8. ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988.



LEGEND

- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR
- + 21.5 EXISTING SPOT ELEVATION
- + 27.0 PROPOSED SPOT ELEVATION
- EXISTING TEST PIT
- EXISTING STONE WALL
- EXISTING HYDRANT
- CONCRETE BOUND WITH DRILL HOLE



SITE PLAN
LOT 2 LOCUSTFIELD ROAD - UNIT 12
PREPARED FOR
LOCUSTFIELD LLC
IN
FALMOUTH, MA

PLAN DATE: JULY 27, 2018 PLAN SCALE: 1"=10'



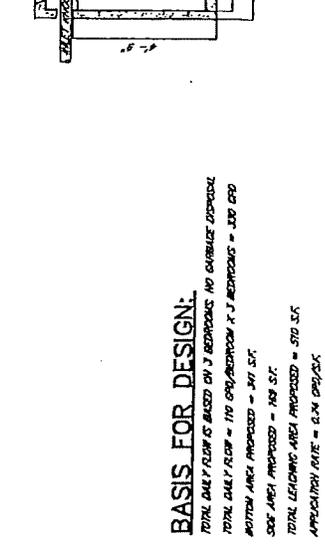
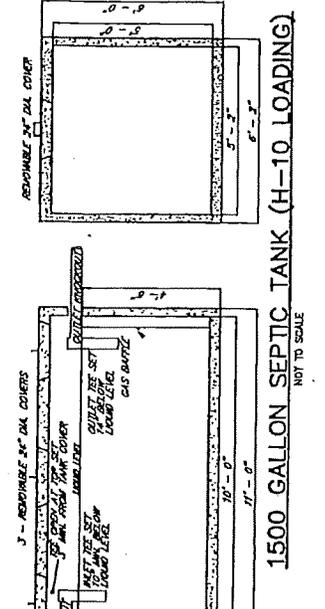
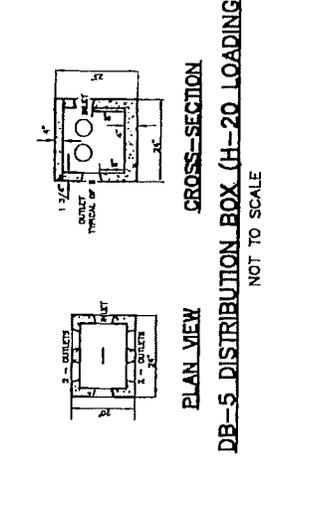
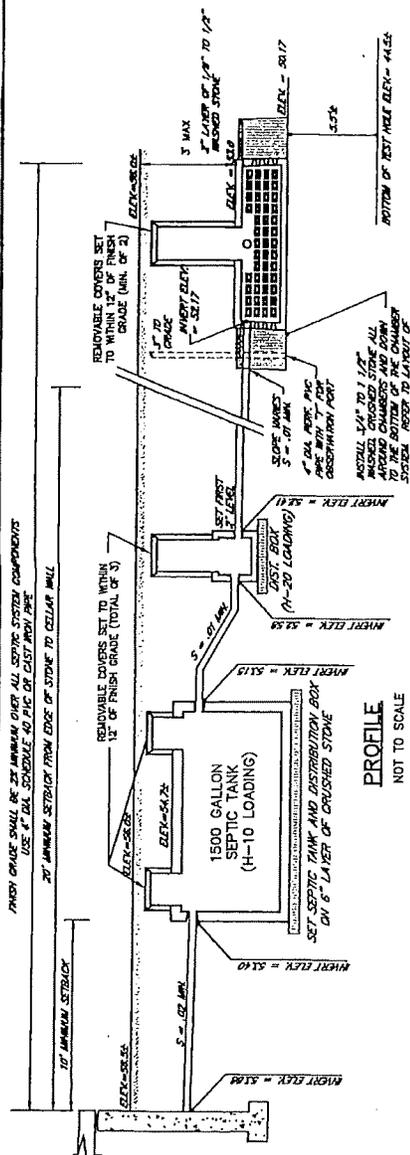
CIVIL ENGINEERING
WATERWAY DESIGN
TITLE & PLAT PLANS
LAND USE PLANNING

WETLANDS PERMITTING
CANAL ENGINEERING
PIERS AND DOCKS
COMMERCIAL/RESIDENTIAL

Spring Cape Civil and Surveying Associates

17 ACADEMY LANE, SUITE 200 - FALMOUTH, MA - 02540 - 508.485.1225

PROJECT NUMBER: 17092 CAD FILE NAME: 17092SP DRAWN BY: L.M./D.M.H. SHEET 1 OF 2



TEST HOLE #1	D/E	TEST HOLE #2	D/E
0'	1'	0'	1'
1'	LOAM SAND	1'	LOAM SAND
30"	COARSE SAND WITH GRAVEL	30"	COARSE SAND WITH GRAVEL
132"		132"	

SOIL TEST
 Date of soil test: AUGUST 8, 2018
 Test taken by: MICHAEL BORSELLI, P.E.
 Performed by: BERNIE SULLIVAN
 Penetration: 1.2 IN./INCH IN C
 Ground water: NONE

BASIS FOR DESIGN:
 TOTAL DAILY FLOW IS BASED ON 3 BEDROOMS, NO GARAGE DISPOSAL
 TOTAL DAILY FLOW = 110 GPD/PERSON X 3 BEDROOMS = 330 GPD
 BOTTOM AREA PROPOSED = 341 SF
 SOE AREA PROPOSED = 189 SF
 TOTAL LEACHING AREA PROPOSED = 520 SF
 APPLICATION RATE = 0.24 GPD/SQ. FT.
 DESIGN LEACHING CAPACITY = 377 GPD > 330 GPD

CONSTRUCTION NOTES:

1. INSTALLATION OF THE PROPOSED SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH TITLE 5 AND THE BOARD OF HEALTH REGULATIONS.
2. A COPY OF THE PLAN SHALL BE AVAILABLE ON SITE FOR REFERENCE AT ALL TIMES DURING THE INSTALLATION OF THE SEPTIC SYSTEM.
3. NO CHANGES TO THE DESIGN SHALL BE PERFORMED WITHOUT THE APPROVAL OF BOTH FALMOUTH ENGINEERING INC AND THE BOARD OF HEALTH.
4. THE SEPTIC SYSTEM IS SUBJECT TO INSPECTION BY FALMOUTH ENGINEERING INC AND THE BOARD OF HEALTH.
5. THE CONTRACTOR SHALL NOTIFY FALMOUTH ENGINEERING INC AND THE BOARD OF HEALTH PRIOR TO THE SEPTIC SYSTEM WORK TO BE PERFORMED IN SOME INSTANCES MORE THAN ONE WEEK BEFORE THE START OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEPTIC SYSTEM THAT HAS BEEN INSPECTED AND APPROVED BY FALMOUTH ENGINEERING INC AND THE BOARD OF HEALTH.
6. IF THE CONTRACTOR ENCOUNTERS ANY OBSTACLES AT SITE CONDITIONS SUCH AS OBSTRUCTION OF SOILS, TOPOGRAPHY, UTILITIES OR OTHER CONDITIONS THAT MAY REQUIRE RE-EVALUATION OF THE DESIGN, THE CONTRACTOR SHALL IMMEDIATELY CONTACT FALMOUTH ENGINEERING INC.

SEPTIC SYSTEM DETAILS
 FOR LOT 2 LOCUSTFIELD ROAD - UNIT 12
 PREPARED FOR
LOCUSTFIELD LLC
 IN
FALMOUTH, MA

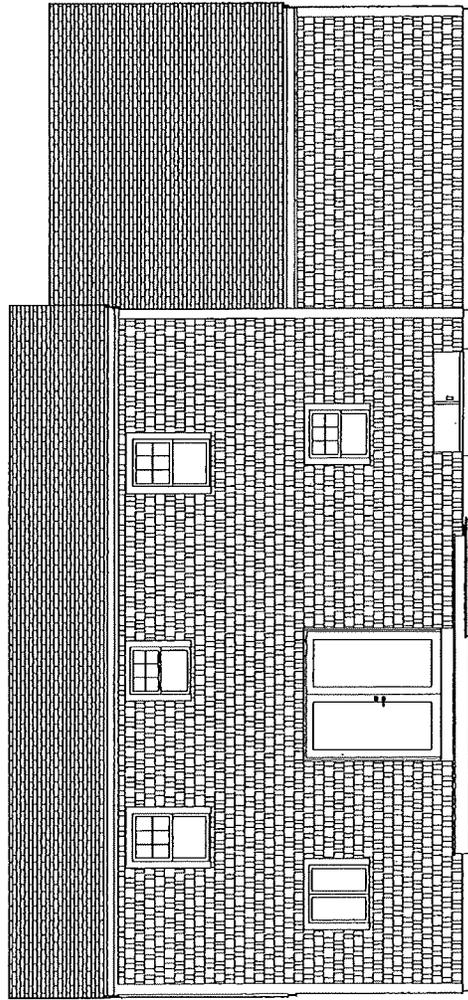
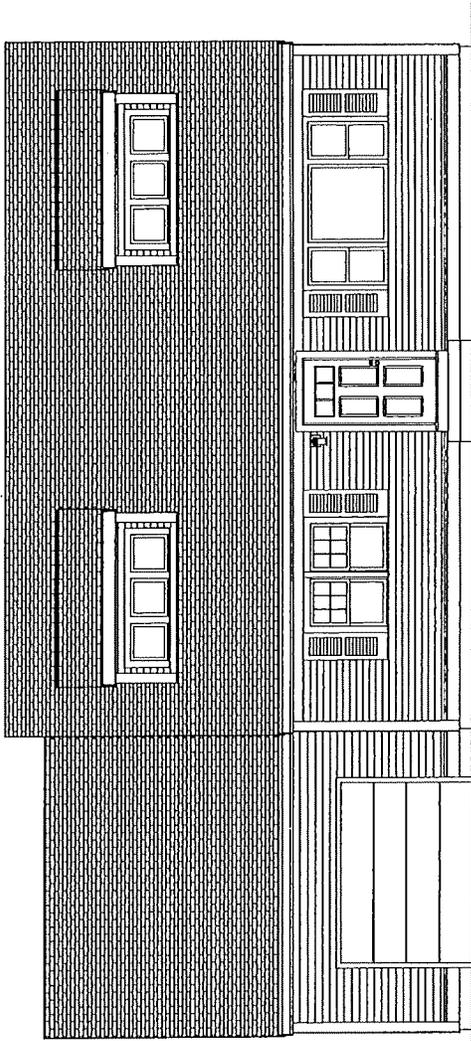
PLAN DATE: JULY 27, 2018 PLAN SCALE: AS SHOWN

CIVIL ENGINEERING
 WASTEWATER DESIGN
 TITLE 5 PLAT PLANS
 LAND USE PLANNING

METLAND PERMITTING
 COSTAL ENGINEERING
 PAPER AND BOOKS
 COMMERCIAL/RESIDENTIAL

17 ACADEMY LANE, SUITE 200 - FALMOUTH, MA - 02540 - 508-495-1235
 PROJECT NUMBER: 17092 CAD FILE NAME: 17092D.DWG DRAWN BY: L.M./D.M.M. SHEET 2 OF 2

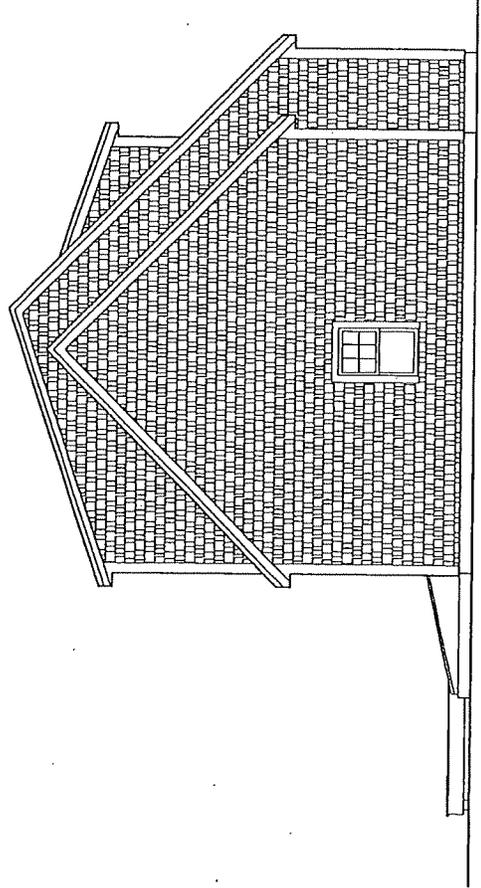
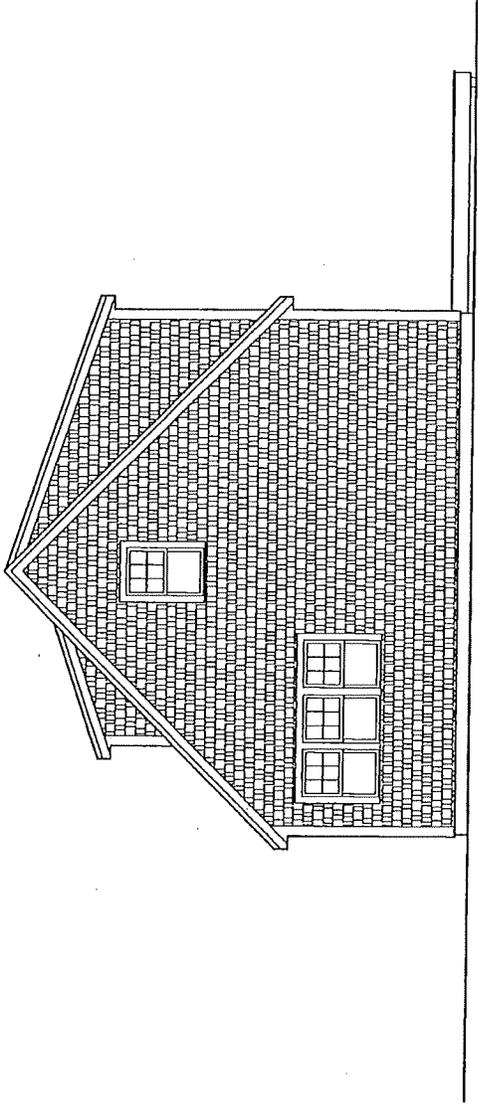
500 GALLON LEACHING CHAMBER (H-10 LOADING)
 SCALE: 1" = 2'



Project Name
 MACLONE SPEC
 LOCUSTFIELD
 FALMOUTH, MA

ELEVATIONS

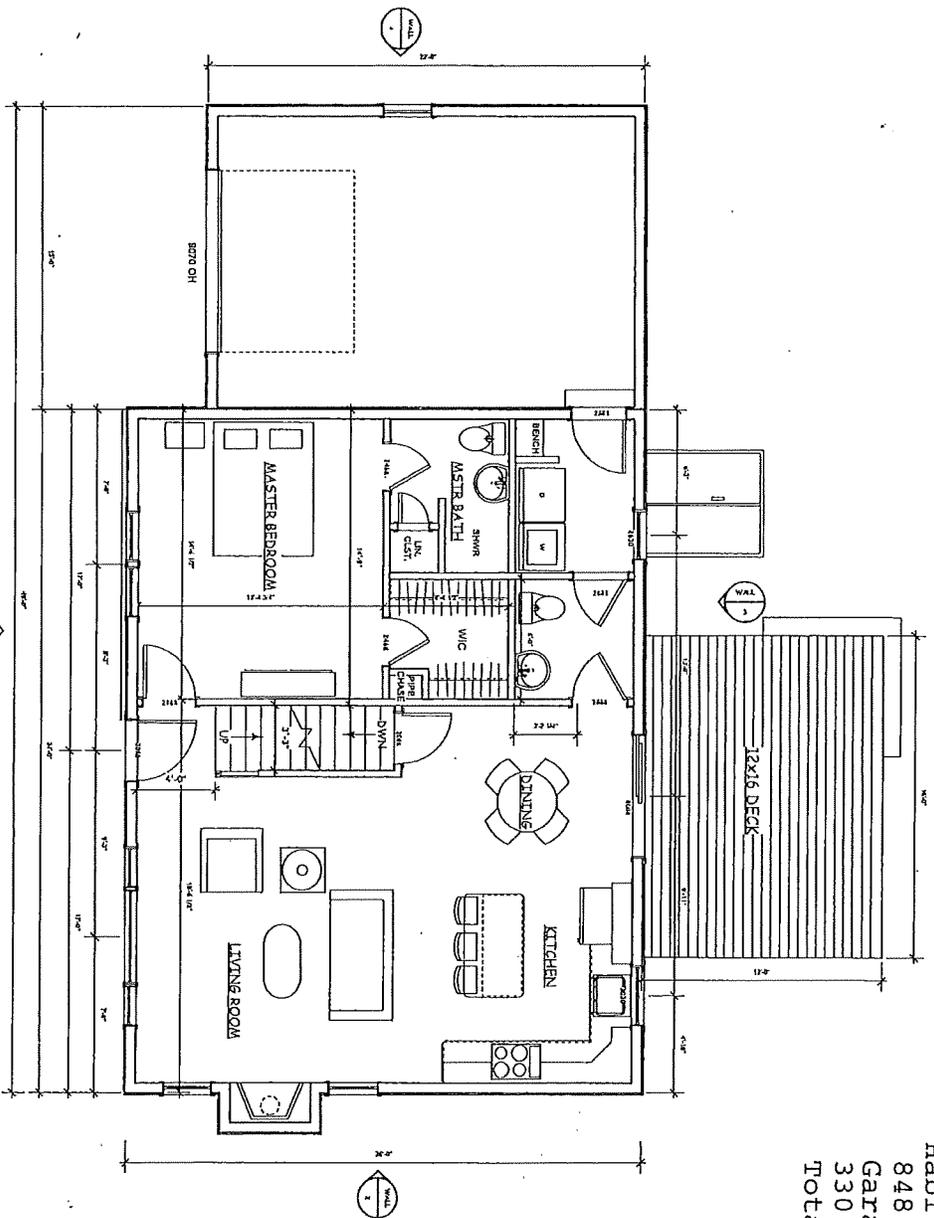
Designer	DAK	Scale	1/4" = 1'
Drawn By	DAK	Drawing No.	1 of 6
Date	2/4/18		
CDP Reference			



MACLONE SPEC
LOCUSTFIELD
FALMOUTH, MA

ELEVATIONS

Designer	DAW	Scale	1/4" = 1'
Date	2/4/18	Sheet No.	2 of 8
CS2 / No. Sheets			



First Floor
 Habitable Space
 848 SF
 Garage Space
 330 SF
 Total 1598 SF

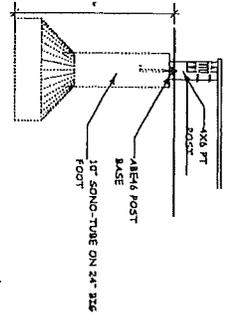


PROJECT TITLE
 MACLONE SPEC
 LOUSTFIELD
 FALMOUTH, MA

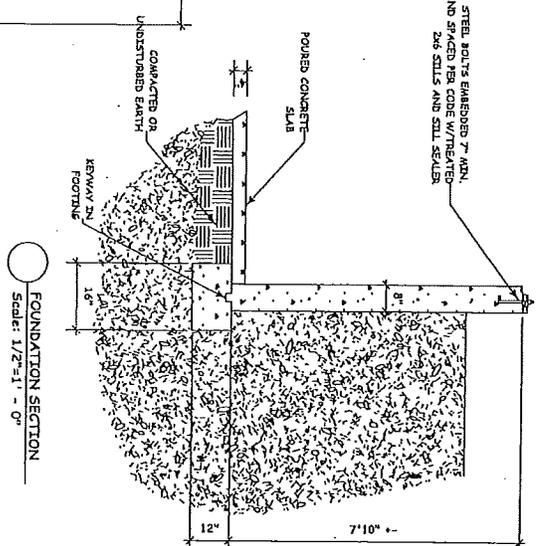
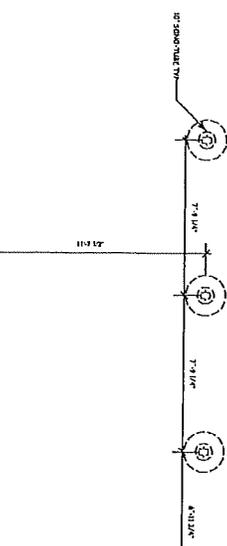
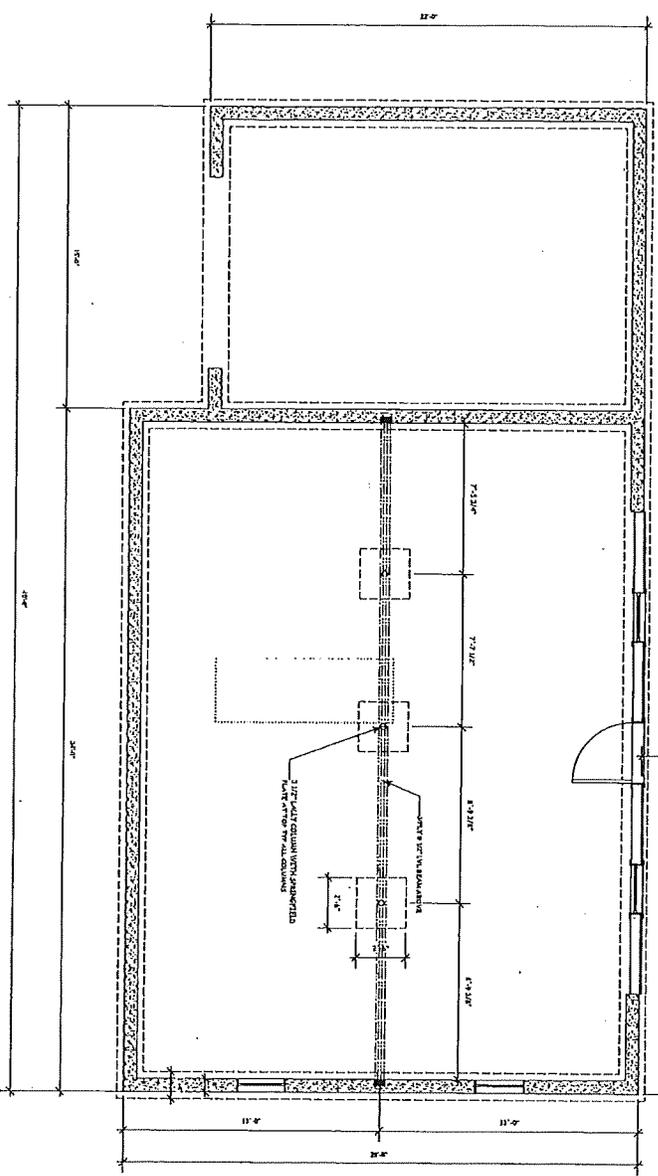
SHEET TITLE
 FIRST FLOOR PLAN

Designer	DAVI	Scale	1/4" = 1'
Checked By		Sheet No.	4
Date	2/4/18	of	8
Contract No.			

Basement Space - Unfinished



DECK CONNECTION DETAIL
Scale: 1/4" = 1'-0"



FOUNDATION SECTION
Scale: 1/2" = 1' - 0"

2x2 ANCHOR BOLTS

Anchor bolts shall be installed in accordance with the following table. All anchor bolts shall be installed in accordance with the following table. All anchor bolts shall be installed in accordance with the following table.

Anchor Bolt Size	Embedment Depth (in.)	Spacing (in.)	Development Length (in.)
1/2"	8"	12"	12"
3/4"	10"	12"	15"
1"	12"	12"	18"
1 1/4"	16"	12"	24"
1 1/2"	18"	12"	27"
2"	24"	12"	36"



MACLONE SPEC
LOCUSTFIELD
FALMOUTH, MA

FOUNDATION

Client	DAK	Scale	1/4" = 1'
Drawn by	ZJA/TB	Sheet No.	3 of 8
Date	2/4/18		

General Information
Locustfield Estates
Three (3) Affordable Housing For Sale Units



Locustfield, LLC and the Town of Falmouth are working to provide this affordable housing opportunity. In this project, three affordable dwellings will be available for sale in Falmouth to persons with incomes at or below 80% of the area median income (currently \$51,400.00 for a family of two). The purchase price for these affordable units will be \$_____. The units are three (3) bedroom units and will include interior garage space and one (1) exterior parking space within the driveway. The maximum household size for this unit will be six (6) persons.

The Town and Locustfield, LLC will be sponsoring an application process and lottery to rank the eligible applicants for purchase of these affordable housing units. The application and lottery process as well as the eligibility requirements are discussed in this plan

Marketing and Outreach Plan

Outreach and marketing for these one affordable housing units will begin on _____ and the application deadline is _____, 2018.

Marketing and outreach will be done for a 60-day period. Application availability and a public information workshop will be announced in the following newspapers: Cape Cod Times, Cape Verdean News, and Falmouth Enterprise. The ads will run at least twice within the 60-day marketing period.

In addition, mailings will be sent to the following agencies: Falmouth Senior Center, AIDS Supports Group of Cape Cod, Brazilian Baptist Church, Brazilian Assembly of God, Cape Cod Lubavitch, Cape Cod Community College, Falmouth Hospital, CI-IAPA, CORD, Dept. of Transitional Assistance, Dept. of Veterans Services, Falmouth Chamber of Commerce, Falmouth Housing Authority, Falmouth Jewish Congregation, Falmouth Police Dept., Falmouth School Dept., Falmouth Public Library, Heritage Christian Life Center, Indian Spiritual and Cultural Training Center, Kingdom Hall Jehovah's Witness, Legal Services of Cape Cod, Mashpee Wompanoag Tribal Council, NAACP Bulletin, St. Patrick's, St. Vincent DePaul Society, and Upper Cape Family Network.

Applications may be obtained by calling or writing to Falmouth Housing Authority, 115 Scranton Ave., Falmouth, MA 02540; (508) 548-1977 and in the following community-based locations: Falmouth Town Hall (Town Manager/Selectmen's Office), Falmouth Public Library, East Falmouth Public Library, and North Falmouth Public Library.

An information session will be held on _____ about eligibility requirements and the lottery process. It will take place at _____ at _____ pm. It is not mandatory, but recommended that interested applicants attend.

The application deadline is _____, 2018. Applicants will be notified in writing that their application has been received and they are eligible for the lottery. Eligible applicants will be assigned a number, which will be placed in the lottery.

Only applicants who meet the eligibility requirements may participate in the lottery. Individuals who have a financial interest in the development and their families are not eligible. The housing provider is obligated to not discriminate in the selection of applicants.

ELIGIBILITY REQUIREMENTS
Locustfield Estates – Affordable Housing Unit

Income and Asset Eligibility:

To be eligible to purchase the affordable housing unit, annual income and assets must be below the maximum levels as described below

Maximum Income

To be eligible, the combined annual income for all income sources of all income-earning members in the household must be at or below eighty percent (80%) of the area median income, as defined by HUD, for the Barnstable Metropolitan Statistical Area. Income in most cases is defined as gross taxable income as reported by the IRS. According to the _____ Income Guidelines released by HUD, 80% of the area median income for Falmouth, MA and therefore the maximum allowable income is the following:

One-person household:
Two-person household:
Three-person Household:

Maximum Assets:

Imputed interest income from all accounts, including liquid assets and restricted accounts, will be calculated by multiplying the total amount of assets over \$5,000 by the current HUD passbook rate of 1% and added to the total gross income. Liquid assets include all cash, cash in savings accounts, checking accounts, certificates of deposits, bonds, stocks, and the value of real estate holdings as outlined above, and other forms of capital investment. Restricted accounts, such as IRAs, 401(k)s, SEPs and pension funds will not be used to calculate total amount of assets, but will be used to calculate gross income, if a household is currently drawing down from the account(s).

Bonus pay, overtime pay or other compensation will be reviewed on a case-by-case basis. While it will be reviewed to determine income-eligibility, consideration will be taken if it was a one-time occurrence, or is not a regular occurrence, especially if it renders the household over the income eligibility guidelines. In this case, it could be determined that the household will remain income-eligible.



LOTTERY PROCESS

Locustfield Estates, East Falmouth, Massachusetts

The lottery will be held on _____, 2018 at 7 p.m. at _____ **Lottery Process**

Households submitting a complete application prior to the application deadline will be pre-screened for income eligibility and appropriate household size and placed in a category for consideration through a lottery process. Eligible applicants will be notified in writing regarding their assigned number to be used in the lottery and any further information.

Applicants do not need to attend the lottery to be eligible to purchase the affordable unit. All applicants will be notified in writing of the outcome of the lottery. The Lottery winner will be notified immediately following the lottery and will receive clear instructions regarding next steps. The Lottery winner will also be informed that the Monitoring Agent will be reviewing their income and asset information for formal eligibility approval.

Only applicants who meet the eligibility requirements may participate in the lottery. Individuals who have a financial interest in the development and their families are not eligible. The housing provider is obligated to not discriminate in the selection of applicants.

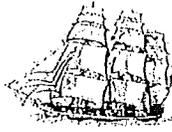
Applications may be obtained by calling or writing to _____ and in the following community-based locations: Falmouth Town Hall (Town Manager/Selectmen's office), Falmouth Public Library, East Falmouth Public Library, and North Falmouth Public Library.

General Pool: One (1) Affordable Unit (3 Bedroom Unit)

Local Preference Pool: Two (2) Affordable Units (3 Bedroom Units).

Household Size:

Household size shall be appropriate for the three (3) bedroom affordable units. Household size shall not exceed six (6) for these affordable units.



Martha's Vineyard

S A V I N G S B A N K

July 13, 2018

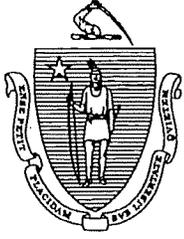
Dan Maclone
Locust Field Road Project
Falmouth, MA

Dear Dan,

Martha's Vineyard Savings Bank appreciates the opportunity to explore financing for a subdivision located at Locust Field Road, Falmouth. Upon approval from the town, summary terms and conditions will be considered for the proposed financing of a construction loan for the purpose of building new residential homes. Please note this is not a commitment to lend and should not be considered as such. A financing commitment would require complete underwriting, formal due diligence by the Bank and its legal counsel and Board approval. We are interested in considering this further upon receipt of town approval.

A handwritten signature in black ink, appearing to read "William Howell", written over a horizontal line.

William Howell
Vice President



The Commonwealth of Massachusetts
Secretary of the Commonwealth
State House, Boston, Massachusetts 02133

William Francis Galvin
Secretary of the
Commonwealth

August 23, 2018

TO WHOM IT MAY CONCERN:

I hereby certify that a certificate of organization of a Limited Liability Company was filed in this office by

LOCUSTFIELD, LLC

in accordance with the provisions of Massachusetts General Laws Chapter 156C on **July 23, 2018.**

I further certify that said Limited Liability Company has filed all annual reports due and paid all fees with respect to such reports; that said Limited Liability Company has not filed a certificate of cancellation or withdrawal; and that said Limited Liability Company is in good standing with this office.

I also certify that the names of all managers listed in the most recent filing are: **DANIEL C. MACLONE**

I further certify, the names of all persons authorized to execute documents filed with this office and listed in the most recent filing are: **DANIEL C. MACLONE**

The names of all persons authorized to act with respect to real property listed in the most recent filing are: **DANIEL C. MACLONE**

In testimony of which,
I have hereunto affixed the
Great Seal of the Commonwealth
on the date first above written.



William Francis Galvin
Secretary of the Commonwealth

FALMOUTH ENGINEERING, INC.

Runoff Calculations: Value Home Improvement - August 3, 2018

25-Year 1-Hour Storm Event, RATIONAL METHOD

DRAINAGE AREA #2

Area of impervious surface =	A _i	=	13,000 S.F.
Area of pervious surface =	A _p	=	19,200 S.F.
Runoff Coefficient (Paved area)	C _i	=	1.0
Runoff Coefficient (Non-Paved area)	C _p	=	0.40
Average intensity in Inches/Hour (25-Year Storm)	i	=	2.50 Inches/Hr

Calculate weighted c:

$$C_{wt} = \frac{(C_i \times A_i) + (C_p \times A_p)}{A_i + A_p} = 0.64$$

$$A = 0.74 \text{ Acres}$$

$$Q = C_i A = 1.19 \text{ (Cubic Feet per Second)}$$
$$= \underline{4,273} \text{ (Cubic Feet per Hour)}$$



A circular professional engineer seal for the State of Florida is visible, partially obscured by a handwritten signature in black ink. The signature appears to be 'R. Balli'.

Locustfield Estates – Citizen Correspondence

Diane Davidson

From: Laura Moynihan <laura@lmoynihanlaw.com>
Sent: Friday, November 02, 2018 9:27 AM
To: 'Diane Davidson'
Subject: Locustfield Estates LLC

Diane,

I would appreciate if you would add this correspondence to the Board of Selectmen's file on this matter. Thank you.

Dear Board Members,

With respect to the Locustfield Estates Local Initiative Program project presented to you on October 29, 2018, I wanted to take this opportunity to clarify two points. First, the power point presentation that I provided at that meeting inadvertently showed the location of the project site highlighted incorrectly. The site location is correct in the written LIP application materials provided to you previously and on the site plans. I apologize for this power point map inaccuracy. The project location is in close proximity to Falmouth High School and other single family neighborhoods off Harriette Road, Locustfield Road and Mares Pond Drive. Second, I also indicated at the October 29th meeting that I was not aware of another affordable housing sales project approved in 2018 in Falmouth when discussing the current Affordable Housing Action plan's recommendation for creation of about 30 units of "for sale" affordable restricted houses per year. Since the October 29th meeting I was advised by the Zoning Board Administrator, Ms. Budrow, that there was one housing development approved by the Zoning Board in 2018. This is the Helmis Circle project, which was approved by comprehensive permit as a MGL Chapter 40B development with 28 single family dwellings on 4.98 acres, 5 of which were allocated as affordable restricted houses. This is a density of almost 6 units per acre (5.6). The Locustfield Estates project has a significantly less density of 12 units on 4.09 acres.

Thank you for your thoughtful consideration of this LIP project.

Sincerely,

Laura M. Moynihan, Esq.
Counsel for the Applicant

Laura M. Moynihan, Esq.

Law Office of Laura M. Moynihan

17 Academy Lane, Suite 1

Falmouth, MA 02540

Tel: 508-548-5558

Fax: 508-548-5553

IRS Circular 230 Required Disclosure: Any tax advice in this e-mail or any attachment (a) is not intended or written to be used, and cannot be used, for the purpose of avoiding tax penalties that may be imposed upon any taxpayer and (b) may not be used in promoting, marketing, or recommending any entity, investment plan, or arrangement. Confidentiality Statement. This e-mail and any attachments are legally privileged and confidential information intended solely for the use of the intended recipient. If the reader of this message is not the intended recipient, you are hereby notified that any dissemination, distribution, copying or other use of this message and any attachments are strictly prohibited. If you have received this e-mail in error, please notify me immediately by reply e-mail to laura@lmoynihanlaw.com and delete the message. Thank you.

Peter Johnson-Staub

From: Susan Moran, Falmouth Selectman <smoran@falmouthmass.us>
Sent: Tuesday, October 30, 2018 11:45 AM
To: David Durfey
Cc: Peter Johnson Staub; Selectmen
Subject: Re: Locustfield Estates

Dear David:

Thank you for your email. By copy I am asking that it become part of the Selectmen's record on this matter.

Susan Moran, Chair
Falmouth Selectman
smoran@falmouthmass.us

On Oct 30, 2018, at 10:15 AM, David Durfey <[REDACTED]> wrote:

Hello Susan,

My name is David Durfey, my wife and I moved to Falmouth 4 years ago. We moved here from western Massachusetts when my wife received a job teaching at Cape Cod Academy.

We have been in rentals while tryin to save in order to purchase a home. The market here is much different than back in western Massachusetts and things are very much inflated. Not only the homes to purchase but the year round rentals.

After we moved here I decided to get my real estate license and have been selling homes for the last three years. I have seen the demand for homes, I had a client last year happily purchase a newly built home by Dan Maclone on Lake Shore Rd in East Falmouth, they were impressed with the quality of his work. My client who is a local school teacher and a great contributor to this community was struggling to find something she could afford with out having to spend additional money to update or fix, in order to live in it.

Being that I am new to real estate and my wife is a school teacher moving from western Massachusetts, we were not ready to or able to afford a home in Falmouth. After being here fours years our rent has gone up and we were forced to move out. Currently we are in Dennis, the hope is to return to Falmouth.

I think that the rental rates are difficult to afford on the cape in general and even more so in Falmouth. The need for affordable homes is at a high. Producing more rentals will not help me and my wife, as well as a list of local buyers looking to purchase their first homes.

I am hoping you will consider what Dan Maclone is offering to build over on Locustfield, yes my opinion is swayed because I will hopefully be working with him but I had also hoped to purchase one this spring. I understand that the neighbors have not been pleased with idea of this development but I think that the town is in need of more homes and neighborhoods like this. If Dan is doing everything according to town rules, laws and not asking for above and beyond then I think this would be in the towns best interest.

Please feel free to contact me, fill me in if you could if there is anything I am missing or not

understanding.



Thank you,
David & Jessica Durfey

I am currently on the move, this has been an iPhone email

Peter Johnson-Staub

From: Susan Moran, Falmouth Selectman <smoran@falmouthmass.us>
Sent: Tuesday, October 30, 2018 5:53 PM
To: j [REDACTED]
Cc: maclone7@aol.com; Julian Suso; Peter Johnson Staub
Subject: Re: Locust Field Estates project

Thank you

Susan Moran, Chair
Falmouth Selectman
smoran@falmouthmass.us

On Oct 30, 2018, at 5:48 PM, <[REDACTED]> wrote:

To whom it may concern:

I strongly support Dan Malone’s vision of a housing project for Locust Field Estates, that will include affordable housing. We need homes in this area , that do not segment , or stigmatize certain houses or their occupants , as tends to happen with duplexes and/or rental complexes. There is a great need of affordable, new homes for the workforce that is/and or is trying to live here in Falmouth. It is unfortunate that many men and women in the trades, that build and maintain the homes in the Falmouth area unable to achieve homeownership. I am all too familiar with working families with dual incomes, that cannot afford to get out of their rentals properties, as there is nothing available fitting the level of need for a modest family home within their price range.

Though there is a need for rental properties, affordable home projects can aid in the availability of the current rental market, and create a stronger Falmouth. People buying these properties from within the area, are in turn freeing up the limited number of rental properties, creating a controlled increase in population, and not a massive influx. Homeownership creates jobs, helps families, and unites a community. That is the Falmouth I want to be a part of.

I ask that you aid in the approval, of this project. **Approve a Stronger Falmouth.**

As always we thank you for your business.

Please write a review and like us on Facebook
<https://www.facebook.com/dinsinc>

Joe Deoliveira, President

DeOliveira Insurance Services, Inc.

800 Falmouth Rd Unit 101-A

Mashpee, MA 02649

Phone 508-477-3023

Fax 508-638-6463

<image001.gif>



Virus-free. www.avast.com

Peter Johnson-Staub

From: Susan Moran, Falmouth Selectman <smoran@falmouthmass.us>
Sent: Wednesday, October 31, 2018 2:41 PM
To: [REDACTED]
Cc: Julian Suso; Peter Johnson Staub; Selectmen
Subject: Fwd: Locustfield Estates Application Appeal
Attachments: image001.jpg; Untitled attachment 03750.html; Locustfield LIP Application Ltr.doc; Untitled attachment 03753.html

Dear Mark:

By copy I am asking the Town Manager to make this part of the record.

Susan Moran, Chair
Falmouth Selectman
smoran@falmouthmass.us

Begin forwarded message:

From: [REDACTED]
Subject: Locustfield Estates Application Appeal
Date: October 31, 2018 at 2:31:02 PM EDT
To: <smoran@falmouthmass.us>

Dear Susan,

Please consider a yes vote for the application for the Locustfield Estates housing project. I have personally worked with Dan Maclone on his current projects on Central Ave and Old Barnstable Road.

He is a quality builder, and as a lifelong resident, is conscious of Falmouth housing and its needs. I am sure that anything he is proposing will be of great quality and design.

Thank you for your consideration.

Mark Lane

Mark Lane
Design/Sales
Bayside Kitchen& Bath
419 Palmer Ave
Falmouth, MA 02540
508-457-5900
www.baysidekitchens.com

From: [Susan Moran](#)
To: [Mary Jane Marston](#)
Cc: jsuso@falmouthmass.us; [Peter Johnson Staub](#)
Subject: Re: Locustfield Road LIP proposal concerns
Date: Thursday, November 1, 2018 10:58:25 AM

Thank you for your input. By copy I am asking the town manager to make it part of the official record.

Su

Sent from my iPhone

On Nov 1, 2018, at 10:40 AM, Mary Jane Marston <[REDACTED]> wrote:

As you suggested, I am sending you this email to state some our concerns regarding this project. As I listened I realized I had to speak up. I had not planned to speak so I was unprepared.

The prospect of this plan going forward as planned is very upsetting to me and my husband. When we purchased our lot in 1996 we specifically chose it for it's size and agricultural zoning. We wanted land in an area we could have animals and gardens. It was one of several multi acre lots in a row being sold. All were about 4 acre one house lots, We abut the lot now in question for this project. This plan proposes a total of 12 homes, 7 of the homes backing up along our side lot line and 5 homes backing up along Joseph Bento's side lot line.

We were not concerned about the lot going up for sale because we knew it was an agriculturally zoned, single family house lot. We always expected a home to be built on that lot. When we realized that the new owner was planning a project that will put a 12 house neighborhood on the lot, we and the neighbor on the other side, Joseph Bento, became alarmed and very upset.

One concern is what it will do to the value of our home. We had an independent professional appraisal done. The results indicated that the value would go down by \$50.000 to \$ 100.000. We are both retired and this financial loss will have a big negative impact on our retirement.

Other concerns are:

* Unleashed dogs (we have a horse on our property).

* The back acreage is open space (an N Star easement) and many people don't realize (or care) that it is private property. We have had problems with people racing dirt bikes, ATVs, and other illegal vehicles out there. Trash bags have been dumped. If this project goes forward there will inevitably be an increase in this kind of activity.

* The back of a home is where people tend to store their trash barrels, have parties, and use outdoor floodlights. Looking at and listening all this activity unexpected, disruptive, and unacceptable in an agricultural zone.

*The septic systems are close to the lot line.

A project of this density does not belong in on Agricultural land.

I want to thank you for your kind patience at the meeting.

Respectfully,

Mary Jane Marston

426 Locustfield Road

East Falmouth, MA 02536



Peter Johnson-Staub

From: Susan Moran, Falmouth Selectman <smoran@falmouthmass.us>
Sent: Wednesday, October 31, 2018 2:40 PM
To: Patty Connolly
Cc: Julian Suso; Peter Johnson Staub; Selectmen
Subject: Re: Locustfield Estates

By copy I am requesting the Town Manager make this part of the record.

Susan Moran, Chair
Falmouth Selectman
smoran@falmouthmass.us

On Oct 31, 2018, at 1:53 PM, Patty Connolly <[REDACTED]> wrote:

Town of Falmouth
Office of the Town Manager & Selectmen
59 Town Hall Square
Falmouth, MA 02540
smoran@falmouthmass.us

Dear Falmouth Board of Selectmen Members,

My name is Patty Connolly. I am a resident of Falmouth residing at 102 Falmouthport Drive, Teaticket, MA 02536. I am writing to ask you to support and endorse the Local Initiative Partnership (LIP) application for Locustfield estates.

The Falmouth community will benefit greatly from the development of this project. As a former teacher, I do recognize the need for affordable housing for our workforce, ie. teachers, policemen, firefighters, nurses, health care workers, carpenters, plumbers, electricians, etc. Those workers have an extreme need for affordable homes for their families. These residents have families and are not in need of smaller condominiums. This development will show our appreciation for those workers that serve Falmouth daily. Given the location of Locustfield, individual homes will blend into the surrounding neighborhood and will produce a viable community which will benefit , both the buyers' and the surrounding neighbors' families.

Please do your part to assist Falmouth locals wanting to invest in the community that we all love by facilitating the creation of home ownership opportunities for them. Again, I strongly request that you please endorse this application.

Sincerely,

Patty Connolly

From: [Susan Moran, Falmouth Selectman](#)
To: [Rich Augusta](#)
Cc: [Julian Suso](#); [Peter Johnson Staub](#)
Subject: Re: supporting the local Initiative partnership
Date: Thursday, November 1, 2018 7:34:29 PM

Thank you, Richard. We will make it part of the record.

Susan Moran, Chair
Falmouth Selectman
smoran@falmouthmass.us

On Nov 1, 2018, at 6:50 PM, Rich Augusta <rich.augusta@comcast.net>
wrote:

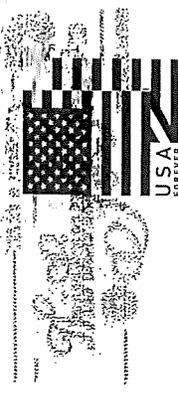
Good morning I have attached my letter for supporting the local initiative partnership application for locus feel the states
I hope you read these letters, we are in support of Mr. Malone, he is always looking out for the best interests of the community

Richard Augusta

<support falmouth letter.pdf>

Locustfield Estates, LLC
PO Box 769
East Falmouth, MA 02536

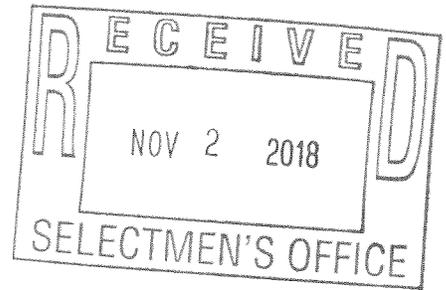
PROVIDENCE RIDGE
SELECT BUSES MAIL



Town of Falmouth
Office of the Town Manager & Selectmen
59 Town Hall Square
Falmouth, MA 02540

02540-277799

October 30, 2018



Town of Falmouth
Office of the Town Manager & Selectmen
59 Town Hall Square
Falmouth, MA 02540
smoran@falmouthmass.us

Dear Falmouth Board of Selectmen Members,

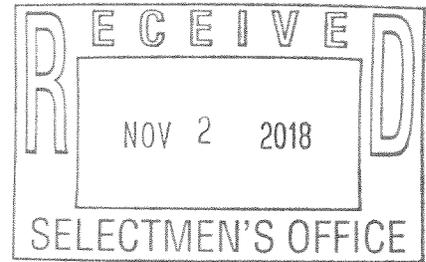
My name is Kevin Cerce. I am a resident of Falmouth
residing at 917 E. Falmouth Hwy E, Falmouth MA, 02536.

I am writing to ask you to support and endorse the Local Initiative Partnership (LIP) application for Locustfield Estates. The Falmouth community will benefit greatly from the development of this project. I believe there is an extreme need in Falmouth for workforce ownership housing. These homes will help house the people that serve our community daily. Please do your part to assist Falmouth locals wanting to invest in the community that we love by facilitating the creation of home ownership opportunities for them. Again, I strongly request that you please endorse this application.

Thank you for your time and consideration.

Sincerely,

Kevin Cerce



October 30, 2018

Town of Falmouth
Office of the Town Manager & Selectmen
59 Town Hall Square
Falmouth, MA 02540
smoran@falmouthmass.us

Dear Falmouth Board of Selectmen Members,

My name is Garrett Callahan. I am a resident of Falmouth
(Please print name)
residing at 917 E. Falmouth Hwy.
(Please print address)

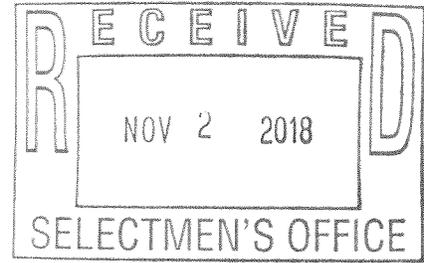
I am writing to ask you to support and endorse the Local Initiative Partnership (LIP) application for Locustfield Estates. The Falmouth community will benefit greatly from the development of this project. I believe there is an extreme need in Falmouth for workforce ownership housing. These homes will help house the people that serve our community daily. Please do your part to assist Falmouth locals wanting to invest in the community that we love by facilitating the creation of home ownership opportunities for them. Again, I strongly request that you please endorse this application.

Thank you for your time and consideration.

Sincerely,

A handwritten signature in cursive script, appearing to be "GC", written over a horizontal line.

October 30, 2018



Town of Falmouth
Office of the Town Manager & Selectmen
59 Town Hall Square
Falmouth, MA 02540
smoran@falmouthmass.us

Dear Falmouth Board of Selectmen Members,

My name is Melissa Melanson. I am a resident of Falmouth
(Please print name)
residing at 917 E Falmouth Hwy, East Falmouth.
(Please print address)

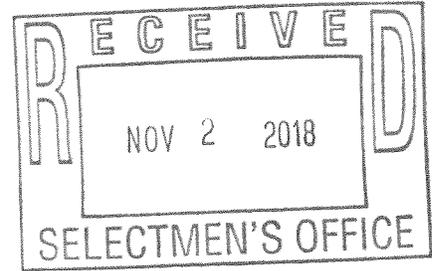
I am writing to ask you to support and endorse the Local Initiative Partnership (LIP) application for Locustfield Estates. The Falmouth community will benefit greatly from the development of this project. I believe there is an extreme need in Falmouth for workforce ownership housing. These homes will help house the people that serve our community daily. Please do your part to assist Falmouth locals wanting to invest in the community that we love by facilitating the creation of home ownership opportunities for them. Again, I strongly request that you please endorse this application.

Thank you for your time and consideration.

Sincerely,

Melissa Melanson

October 30, 2018



Town of Falmouth
Office of the Town Manager & Selectmen
59 Town Hall Square
Falmouth, MA 02540
smoran@falmouthmass.us

Dear Falmouth Board of Selectmen Members,

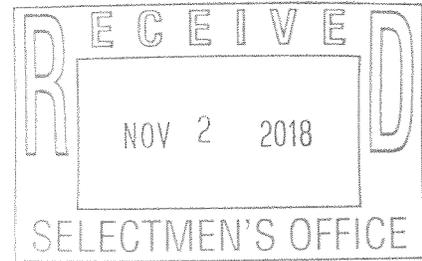
My name is Christopher M. Roberts. I am a resident of Falmouth
(Please print name)
residing at 16 Figuerido way Teutleben MA.
(Please print address)

I am writing to ask you to support and endorse the Local Initiative Partnership (LIP) application for Locustfield Estates. The Falmouth community will benefit greatly from the development of this project. I believe there is an extreme need in Falmouth for workforce ownership housing. These homes will help house the people that serve our community daily. Please do your part to assist Falmouth locals wanting to invest in the community that we love by facilitating the creation of home ownership opportunities for them. Again, I strongly request that you please endorse this application.

Thank you for your time and consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Chris Roberts".



October 30, 2018

Town of Falmouth
Office of the Town Manager & Selectmen
59 Town Hall Square
Falmouth, MA 02540
smoran@falmouthmass.us

Dear Falmouth Board of Selectmen Members,

My name is RICHARD MACCONE III. I am a resident of Falmouth
(Please print name)
residing at 670 EAST FALMOUTH HWY.
(Please print address)

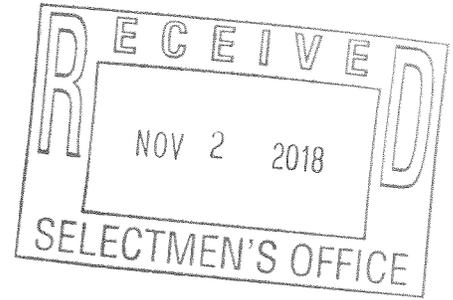
I am writing to ask you to support and endorse the Local Initiative Partnership (LIP) application for Locustfield Estates. The Falmouth community will benefit greatly from the development of this project. I believe there is an extreme need in Falmouth for workforce ownership housing. These homes will help house the people that serve our community daily. Please do your part to assist Falmouth locals wanting to invest in the community that we love by facilitating the creation of home ownership opportunities for them. Again, I strongly request that you please endorse this application.

Thank you for your time and consideration.

Sincerely,

A large, stylized handwritten signature in black ink, written over a horizontal line. The signature is highly cursive and appears to read "Richard Maccone III".

October 30, 2018



Town of Falmouth
Office of the Town Manager & Selectmen
59 Town Hall Square
Falmouth, MA 02540
smoran@falmouthmass.us

Dear Falmouth Board of Selectmen Members,

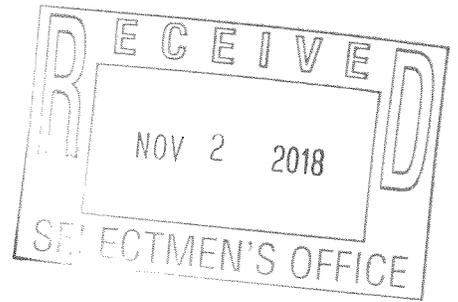
My name is Susan J. Augusta. I am a resident of Falmouth
(Please print name)
residing at 366 Hayway Road, E. Falmouth.
(Please print address)

I am writing to ask you to support and endorse the Local Initiative Partnership (LIP) application for Locustfield Estates. The Falmouth community will benefit greatly from the development of this project. I believe there is an extreme need in Falmouth for workforce ownership housing. These homes will help house the people that serve our community daily. Please do your part to assist Falmouth locals wanting to invest in the community that we love by facilitating the creation of home ownership opportunities for them. Again, I strongly request that you please endorse this application.

Thank you for your time and consideration.

Sincerely,

Susan J. Augusta



October 30, 2018

Town of Falmouth
Office of the Town Manager & Selectmen
59 Town Hall Square
Falmouth, MA 02540
smoran@falmouthmass.us

Dear Falmouth Board of Selectmen Members,

My name is John D Augusta (Please print name). I am a resident of Falmouth
residing at 55 Alexander Booker Rd East Falmouth MA 02536 (Please print address).

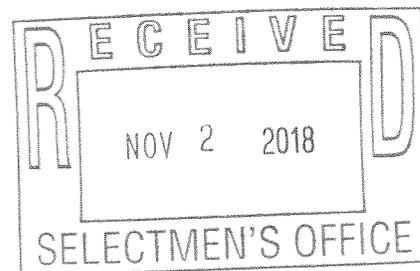
I am writing to ask you to support and endorse the Local Initiative Partnership (LIP) application for Locustfield Estates. The Falmouth community will benefit greatly from the development of this project. I believe there is an extreme need in Falmouth for workforce ownership housing. These homes will help house the people that serve our community daily. Please do your part to assist Falmouth locals wanting to invest in the community that we love by facilitating the creation of home ownership opportunities for them. Again, I strongly request that you please endorse this application.

Thank you for your time and consideration.

Sincerely,

A handwritten signature in cursive script, reading "John D. Augusta", written over a horizontal line.

October 30, 2018



Town of Falmouth
Office of the Town Manager & Selectmen
59 Town Hall Square
Falmouth, MA 02540
smoran@falmouthmass.us

Dear Falmouth Board of Selectmen Members,

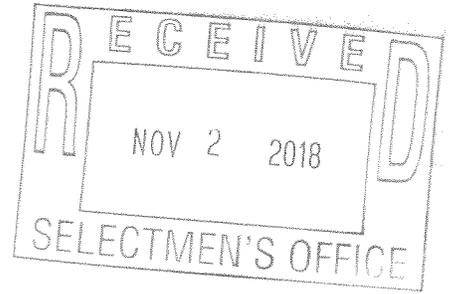
My name is Daniel Figueroa. I am a resident of Falmouth
(Please print name)
residing at 20 Sandwich Road, Teaticket, MA 02536.
(Please print address)

I am writing to ask you to support and endorse the Local Initiative Partnership (LIP) application for Locustfield Estates. The Falmouth community will benefit greatly from the development of this project. I believe there is an extreme need in Falmouth for workforce ownership housing. These homes will help house the people that serve our community daily. Please do your part to assist Falmouth locals wanting to invest in the community that we love by facilitating the creation of home ownership opportunities for them. Again, I strongly request that you please endorse this application.

Thank you for your time and consideration.

Sincerely,

Daniel Figueroa



October 30, 2018

Town of Falmouth
Office of the Town Manager & Selectmen
59 Town Hall Square
Falmouth, MA 02540
smoran@falmouthmass.us

Dear Falmouth Board of Selectmen Members,

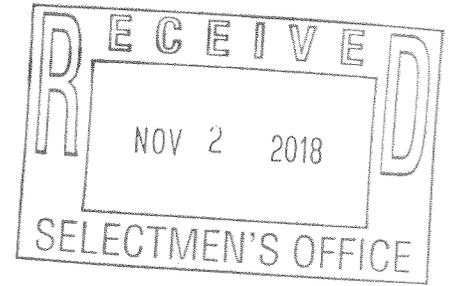
My name is Julene Augusta. I am a resident of Falmouth
(Please print name)
residing at 51 Oyster Shell Lane, E. Falmouth, MA 02536
(Please print address)

I am writing to ask you to support and endorse the Local Initiative Partnership (LIP) application for Locustfield Estates. The Falmouth community will benefit greatly from the development of this project. I believe there is an extreme need in Falmouth for workforce ownership housing. These homes will help house the people that serve our community daily. Please do your part to assist Falmouth locals wanting to invest in the community that we love by facilitating the creation of home ownership opportunities for them. Again, I strongly request that you please endorse this application.

Thank you for your time and consideration.

Sincerely,

Julene Augusta



October 30, 2018

Town of Falmouth
Office of the Town Manager & Selectmen
59 Town Hall Square
Falmouth, MA 02540
smoran@falmouthmass.us

Dear Falmouth Board of Selectmen Members,

My name is Nancy MacLone. I am a resident of Falmouth
(Please print name)
residing at 608 E. Falmouth Highway, E. Falmouth, MA 02536
(Please print address)

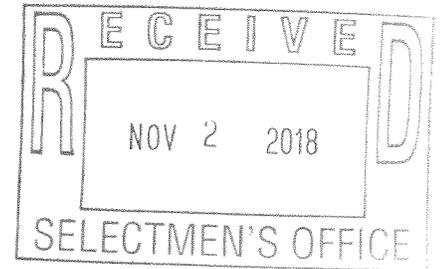
I am writing to ask you to support and endorse the Local Initiative Partnership (LIP) application for Locustfield Estates. The Falmouth community will benefit greatly from the development of this project. I believe there is an extreme need in Falmouth for workforce ownership housing. These homes will help house the people that serve our community daily. Please do your part to assist Falmouth locals wanting to invest in the community that we love by facilitating the creation of home ownership opportunities for them. Again, I strongly request that you please endorse this application.

Thank you for your time and consideration.

Sincerely,

Nancy MacLone

October 30, 2018



Town of Falmouth
Office of the Town Manager & Selectmen
59 Town Hall Square
Falmouth, MA 02540
smoran@falmouthmass.us

Dear Falmouth Board of Selectmen Members,

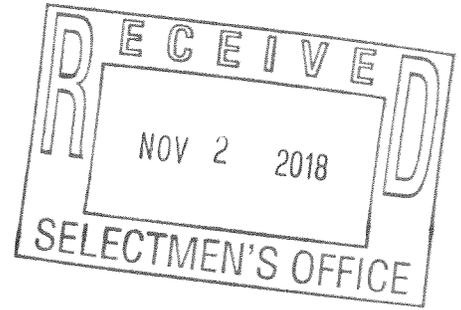
My name is Melissa M. Keefe. I am a resident of Falmouth
residing at 66 Vidal Avenue E. Falmouth, MA 02536.

I am writing to ask you to support and endorse the Local Initiative Partnership (LIP) application for Locustfield Estates. The Falmouth community will benefit greatly from the development of this project. I believe there is an extreme need in Falmouth for workforce ownership housing. These homes will help house the people that serve our community daily. Please do your part to assist Falmouth locals wanting to invest in the community that we love by facilitating the creation of home ownership opportunities for them. Again, I strongly request that you please endorse this application.

Thank you for your time and consideration.

Sincerely,

A handwritten signature in black ink, appearing to be "Melissa M. Keefe", written over a horizontal line.



October 30, 2018

Town of Falmouth
Office of the Town Manager & Selectmen
59 Town Hall Square
Falmouth, MA 02540
smoran@falmouthmass.us

Dear Falmouth Board of Selectmen Members,

My name is John Roger August III (Please print name). I am a resident of Falmouth
residing at 522 Old Meetinghouse Rd E. Falm (Please print address).

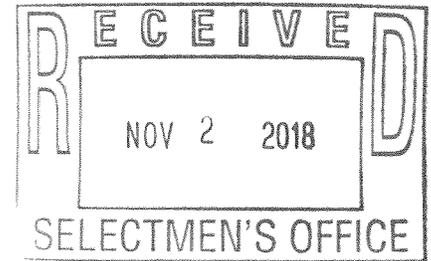
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Thank you for your time and consideration.

Sincerely,

John Roger August III

October 30, 2018



Town of Falmouth
Office of the Town Manager & Selectmen
59 Town Hall Square
Falmouth, MA 02540
smoran@falmouthmass.us

Dear Falmouth Board of Selectmen Members,

My name is Richard MacLone. I am a resident of Falmouth
(Please print name)
residing at 668 E. Falmouth Hwy, FAL.
(Please print address)

I am writing to ask you to support and endorse the Local Initiative Partnership (LIP) application for Locustfield Estates. The Falmouth community will benefit greatly from the development of this project. I believe there is an extreme need in Falmouth for workforce ownership housing. These homes will help house the people that serve our community daily. Please do your part to assist Falmouth locals wanting to invest in the community that we love by facilitating the creation of home ownership opportunities for them. Again, I strongly request that you please endorse this application.

Thank you for your time and consideration.

Sincerely,

Richard R MacLone Jr.

Board of Selectmen:

The draft minutes of 9/24 and 10/15 are in the packet.

The draft minutes of 9/17 and 10/29 are still being prepared.

The meeting of 10/22 was cancelled, so no minutes.

Thank you.

TOWN OF FALMOUTH
BOARD OF SELECTMEN
Meeting Minutes
Open Session
MONDAY, SEPTEMBER 24, 2018
SELECTMEN'S MEETING ROOM
TOWN HALL

Present: Susan Moran, Chairperson; Doug Jones; Sam Patterson; Doug Brown.
Absent: Megan English Braga

Others Present: Julian Suso, Town Manager; Peter Johnson-Staub, Assistant Town Manager; Frank Duffy, Town Counsel.

1. Call to Order by Chair Moran at 7 pm.
2. Pledge of Allegiance
3. Proclamations:
 - a. Eagle Scout Proclamation – Timothy P. Leonard Jr., Boy Scout Troop 42-rescheduled to a future date.
 - b. Eagle Scout Proclamation – Edward J. Geishecker, Boy Scout Troop 42

Mr. Patterson read the motion in the packet. Second Mr. Jones. Vote: Yes-4. No-0. Absent-1.

Mr. Geishecker's project was a Mary's Prayer Garden at St. Patrick's Church in Falmouth for people at the church and in general to use to pray.

4. Recognition
Chair Moran appreciated the first responders and folks in the Carolinas and hope for a quick recovery from the storm.
5. Announcements
Mr. Brown attended a meeting with Senator deMacedo regarding the progress of New Bedford state pier and keeping the option open for trucking on the water front and benefit to Falmouth may be fewer trucks going to the island.
6. Public Comment
Marc Finneran, Precinct 6, last week and a few other times the Board of Selectmen agendas have not been in the Enterprise and many depend on finding it there.

SUMMARY OF ACTIONS

1. Licenses
 - a. Application for One-Day Wine and Malt Liquor License – British Beer Company – Beer Garden in the parking lot of the Seaside Inn/British Beer Company – Sunday, October 7, 2018
 - b. Application for Sunday Entertainment – British Beer Company – Lennonfest – Falmouth Heights Ball Field – Sunday, October 7, 2018

Robert Lowen, GM, beneficiary of the event is an entertainer/Falmouth resident and will be going through chemotherapy; he and his family will be the beneficiaries of the event. Wine and Malt condition no consumption of alcohol.

Mr. Patterson motion approval of items a and b. Second Mr. Jones. Vote: Yes-4. No-0. Absent-1.

2. Administrative Orders

- a. Vote to Approve Funding in the Amount of \$65,000 from the Falmouth Affordable Housing Fund to fund the Falmouth Housing Trust for Construction of Affordable House at 72 Deer Pond Road

Carla Feroni explained that this house is a 3 bedroom 2 bath and selling price will be \$195,000. The fund working group reviewed and voted unanimously to support the trust with this amount for this home. The Board of Selectmen is asked to act as trustees to vote to approve the expenditure. The monitoring agent has not yet been determined; they usually wait until all legal documents are complete.

Mr. Patterson is on the working group and he, along with Chair Moran noted the language is tightening up and the system is being overhauled.

Mr. Brown suggested the Board of Selectmen look at whether they want to invest this much in an individual house in the future; he would like to focus on larger projects. Chair Moran noted this is a great question and Mr. Patterson commented that the working group came up with a policy, discussed this extensively, and put forth to the Board of Selectmen for approval and was approved a couple months ago for 2018, \$65,000 is the funding allocation guideline.

Mr. Johnson-Staub noted these are issues they are looking to engage in future dialogue. There is a need for multi-family rental housing, could look at targeting funds in the future. If the Town wants to look at some production of single family homes, the amount will be close to \$50,000-\$60,000 per unit.

Mr. Patterson motion approval. Second Mr. Jones. Vote: Yes-4. No-0. Absent-1.

- b. Vote to Approve Expenditure from the Falmouth Affordable Housing Fund of up to 2.5% (\$4,430) of the Purchase price of the Affordable Property at 338 Sam Turner Road for Brokerage Fees Associated with Finding an Income Eligible Buyer

Mr. Patterson motion to approve. Second Mr. Jones. Vote: Yes-4. No-0. Absent-1.

- c. Vote to Accept a Donation from the Falmouth Rod and Gun Club in the Amount of \$3,000 to the Falmouth Police Department toward the Purchase of a Firearms Training Simulator (FATS)

Gary Anderson, Treasurer Falmouth Rod and Gun Club; Kevin Narvon, Bar Manager and father of Falmouth officer and Perry Ellis; Vice President of the Falmouth Rod and Gun Club. Mr. Narvon held a fundraising event and raised \$800 and donated to this cause. Members of the Club matched to bring it up to \$1500, bartenders donated their tips, raffle total raised was \$2900, and now they have \$3,000. He read a letter into the record.

Mr. Suso noted this is a donation, so it does not involve need to acquire additional funding. Falmouth Together We Can is raising additional funds.

Mr. Patterson motion to accept. Second Mr. Brown. Vote: Yes-4. No-0. Absent-1.

- d. Vote to Approve Application to the Massachusetts Office of Disability for ADA Transition Plan Grant Funds in the Amount of \$82,000

Mr. Suso noted a communication in the Board of Selectmen packet from Ray Jack regarding the ADA transition plan and came to attention that there are grant funds available for that purpose. Mr. Suso recommended favorable consideration. This is town wide.

Mr. Jones motion approval. Second Mr. Brown. Vote: Yes-5. No-0. Absent-1.

- e. Authorize a Letter of Support for Keeping the NOAA Fisheries in Woods Hole
Mr. Suso explained the Town was notified at recent meeting of Cape Cod Selectmen's Association of movement by another municipality to relocate the NOAA offices to their municipality. There is a draft letter prepared and in the packet; does the Board of Selectmen want to be a signatory on the letter and/or develop a stand alone letter on the Board of Selectmen' behalf. A NOAA

representative would join the Board of Selectmen at the early October meeting for further discussion on issues related to NOAA.

Chair Moran noted Falmouth may want to consider doing its own letter; it is a benefit to Falmouth and the scientific organizations to maintain presence in Falmouth.

Mr. Patterson said important that fisheries science center were the first oceanographic facilities to locate in Woods Hole. Legislatures have reached out to try to get collaborative effort to keep it in Woods Hole.

Mr. Jones would like to include name in joint letter and having their own letter.

Mr. Jones motion for both letters. Second Mr. Patterson. Vote: Yes-4. No-0. Absent-1.

3. Special Events

Recurring:

- a. Lennonfest – British Beer Company – Falmouth Heights Ball Field – Sunday, October 7, 2018
Mr. Patterson motion approval as conditioned. Second Mr. Jones. Vote: Yes-4. No-0. Absent-1.
- b. Rosary Rally – Rev. Deacon John E. Simonis – Peg Noonan Park – Saturday, October 13, 2018
Mr. Patterson motion approval. Second Mr. Jones. Vote: Yes-4. No-0. Absent-1.

New:

- a. Live Free(er) Ride: Beach & Backroads Motorcycle Ride – Cape Cod Harley-Davidson Dealer – Saturday, October 20, 2018

Chuck Toulow, Harley Davidson and Richard Leblanc applying for permission for a motorcycle ride through Bourne and Falmouth. They want to increase their visibility and would like to sponsor a ride on their own. He noted they can be flexible regarding the route.

Mr. Brown noted Falmouth Police Department concerned about impact on neighborhoods, negative input from Falmouth Police Department.

According to Mr. Leblanc, the ride is designed to stay out of downtown and off main arteries, they could cut out the Woods Hole area streets; they reviewed the route. Mr. Leblanc stated they did not sit down with the Falmouth Police Department to discuss the route. They are not charging anything this year, next year they would like to put it to a charity.

Mr. Jones noted this is not first time motorcycle ride through Falmouth and they are not popular, with a reputation for being loud and many participants have not abided by the noise bylaws and he does not believe the Falmouth Police Department would approve.

Chair Moran noted the cost benefit analysis for the Board of Selectmen and the need to balance of resources dedicated including the police presence and charitable considerations.

Mr. Patterson is concerned about noise from modified exhaust systems. Too much of a disturbance, if controls in place he would have no problem, especially if for charity.

Mr. Patterson motion to deny and invite the applicants to come back with a plan for restriction on noise exhaust and charitable cause, along with a modified route worked out with the Falmouth Police Department. Second Mr. Jones. Vote: Yes-4. No-0. Absent-1.

PUBLIC HEARINGS

7:30 p.m.

1. Flow Neutral Bylaw – Evaluation of Request for Variance – 291-295 Main Street, Falmouth (Parcel ID 47A 14 011 007)

Chair read the hearing notice.

Laura Moynihan, Attorney representing the applicant. This is an existing 49 seat restaurant operating since 2016, there will be an increase in flow. Based on the Board of Selectmen guidelines, the Wastewater Superintendent confirmed in writing there is sufficient sewer capacity, the Board of Health has not issued a positive referral, they were asked and 45 days has passed so under the bylaw it is deemed a positive referral, the property cannot accommodate a Title V system. A packet was provided to the Board of Selectmen. The Board of Selectmen must consider four criteria including economic benefit, there is significant importance to the tourism and retail economy. Asked the Board of Selectmen to grant the variance.

Mr. Brown asked if we should reevaluate the language in the bylaw, sewerage residential areas to keep growth under control but on Main Street they need to allow for redevelopment and most probably will not meet the Title V.

Mr. Suso clarified that the bylaw requires input from Board of Health, even with a failure to make a positive recommendation, the Board of Selectmen can nonetheless make the requirement.

Chair Moran noted the process from staff and committees needs to be honed more, important to continue streamlining.

Mr. Johnson-Staub provided background on the bylaw, it was a requirement of the low interest loan financing from the Water Pollution Abatement Trust that the Town have a bylaw like this to monitor and control development. To potentially amend the bylaw, they would need to revisit the requirements of the low interest loan.

Public comment in favor: none.

Public comment against: none.

Mr. Jones motion to close the hearing. Second Mr. Patterson. Vote: Yes-4. No-0. Absent-1.

Attorney Moynihan said that the bylaw states if the Board of Health does not make a vote, it is deemed okay.

Mr. Jones reviewed the findings:

Defactor approval by the Board of Health, sufficient flow determined by Ms. Lowell.

Mr. Jones motion approval of the variance. Second Mr. Brown. Vote: Yes-4. No-0. Absent-1.

The Board of Selectmen inquired asking Ms. Lowell how many properties on Main Street are not connected?

Ms. Lowell said all properties from the Post Office intersection East are connected and now Davis Straits properties are connected. Teaticket Highway to Sandwich Road will be connected when the LPSS is complete. This is redevelopment, which is why the Board of Selectmen is hearing about it. The property already had a sewer connection, but redevelopment triggers the bylaw.

7:35 p.m.

2. Flow Neutral Bylaw – Evaluation of Request for Variance – 587 Main Street, Falmouth (Parcel ID 47B 04 015 000)

Chair Moran read the hearing notice.

Attorney Kevin Klauer, Ament and Klauer, representing the applicant. This project permitted last year and is nearing completion of construction. Came to their attention when permitted, that it did not go through the flow neutral process. Mixed use, 3 2-bedroom apartments, there are 2 others on septic and will remain on septic for now. The front building will be on sewer and has 2 retail units including a 22 seat restaurant and retail space. Ms. Lowell's presentation has been factored into the figures, the Board of Health issued positive referral that a Title V system could handle the flow and economic benefit to it and addition to housing stock. Units are not affordable housing.

Public comment in favor: none.
Public comment against: none.

Mr. Jones motion to close the hearing. Second Mr. Patterson. Vote: Yes-4. No-0. Absent-1.

Mr. Brown motion approval. Mr. Jones noted a positive Board of Health , mixed use development, and the building is already built. Second Mr. Patterson. Vote: Yes-4. No-0. Absent-1.

7:40 p.m.

3. Flow Neutral Bylaw – Evaluation of Request for Variance - 661 Main Street, Falmouth (Parcel ID 47B 05 012 000A)

Chair Moran read the hearing notice.

Kevin Klauer, Attorney, Ament and Klauer LLC, representing the applicant. Previously permitted project a year ago, it is down to steel frame, the existing building being razed, the building will have 7 apartments on the top floor, retail, and was previously on sewer and could have Title V sewer.

Public comment in favor: none.
Public comment against: none.

Mr. Jones motion to close the hearing. Second Mr. Patterson. Vote: Yes-4. No-0. Absent-1.

Mr. Patterson noted that while these are not restricted to affordable units, they add to the stock of housing.

Mr. Jones reviewed the findings including the Title V condition met, flowability met, economic and mixed use priority met, and also previously permitted and in process.

Mr. Jones motion to approve. Second Mr. Patterson. Vote: Yes-4. No-0. Absent-1.

7:45 p.m.

4. Flow Neutral Bylaw – Evaluation of Request for Variance – 31 Teaticket Highway, Falmouth (Parcel ID 39 15 022 011U)

Chair Moran read the hearing notice.

Kevin Klauer, Ament and Klauer LLC representing the applicant. In midst of construction of restaurant, permitted already, received building permit from Town, this would be part of economic development discussed in the other hearings. This is currently connected to the sewer.

Public comment in favor: None.
Public comment against: none.

The Board of Selectmen reviewed the findings, including the Title V default approval, the Board of Health did not vote. The building is currently connected to the sewer, the flow is available. Economic development is there and the retail establishment will result in more jobs than the prior use. Also found to be sustainable.

Mr. Jones motion to close the hearing. Second Mr. Patterson. Vote: Yes-4. No-0. Absent-1.

BUSINESS

1. Presentation on Woods Hole Historic District Planning Study Completed by Cape Cod Commission – Sarah Korjeff

Chair Moran stated this would be a presentation only, will take up to 5-6 public comments 2 minutes maximum per person, the Board of Selectmen will not be voting.

Ms. Korieff summarizing the study conducted over the last year. Initiated at the request of the Town. They identified issue areas to focus on. Areas of focus included zoning and community character, historic preservation, pedestrian, and bicyclist accommodations.

Public meetings and site visits were held, Historic Commission presentation, public workshop, stakeholder meetings, draft report was presented to the Planning Board. Reviewed historic properties in Woods Hole, many properties are outside the historic district. Considered age of structure, district boundaries: described the areas, street impact and architectural significance, Recommendations included expanding local historic district boundaries, protecting key individual properties, extend demolition delay bylaw to 12 months, and address historic neighborhoods outside the district with alternative to creating/expanding the historic district.

Zoning and Character:

Use existing land, whether current regulations are creating/encouraging certain type of development, looked at lot size, building set backs, building coverage of lot area, recommendations zoning and building design: adjust dimensional regulations to maintain character, adopt zoning incentives to protect historic structures, create design guidelines for institutional areas, and formula business zoning.

Visual Character:

Manage the vista above Little Harbor, pocket parks at Eel Pond and the Crane Street bridge, comment on Steamship Authority building design, and suggested coordinating with institutions on project designs.

Flood Threat:

Recommendations include: adopting design guidelines for flood hazard areas, work with Coastal Resilience Action Committee.

Pedestrian and Bicycle Facilities:

Sidewalk improvements at village edges, Woods Hole Road crossings, bike path access from Church Street with a bike rail, improve the bike route and trail signage.

Action Plan priorities by the Historic Commission

Expand local historic district, address the Woods Hole Road crossings, improve the Church Street access to bike path, and manage the vista above Little Harbor.

2. **Comments on Historical Commission Prioritized Actions Resulting from the Woods Hole Planning Study – Ed Haddad**

Ed Haddad, Chair Historical Commission, working closely, important project and looked at Woods Hole as a neighborhood. Met with the Woods Hole Community Group, reviewed priorities and came up with the 4 initiatives: Expand local historic district, Woods Hole Road crossings, improve Church Street access to the bike path, and manage vista above Little Harbor. There are significant properties that are not part of the historic district, it is an extensive project. The last 3 items go to quality of life and community, are complex, and asked for Town Manager's help in drafting a letter of support for these initiatives and support from Town Manager would help move these projects through the DPW.

Paul Speer, Chief Operating Officer for MBL, said he is not in favor of extending the Historic District. They had a meeting with Chair Haddad to see the study results. Recognize MBL is integral to the history of Woods Hole and science discoveries have happened because they can adjust labs that are not museums and they need to continue to make the changes to their labs. Need flexibility. MBL is a great neighbor and citizen, taken good care of campus, accessible to community, support the Town, no evidence to support any risk to the Town caused by not extending the Historic District over the MBL.

Steve Junker, Co-president of the Woods Hole Community Association thanked the Board of Selectmen for starting the process and engaging the community. This was the presentation of the evening at the July Annual Association meeting, extending seems logical to many. The historic district is not incompatible. Road crossings are important.

Mr. Jones commented that he would like to have the Bikeways Committee involved.

According to Mr. Haddad, that is not something within their control, they need help from other Town departments.

Catherine Bumpus, Co-President of the Woods Hole Association, noted quality of life improvements were discussed, the Bikeways Committee is aware of this and supports this. This goes to many pieces, not just the Historic District.

Ms. Korjeff has not met with the WH Business Association, had communication but no special meeting.

Chair Moran noted received communication from MBL and WHOI.

Mr. Jones noted parking was the biggest issue in Woods Hole, Ms. Korjeff encouraged them to contact the Cape Cod Commission again regarding that issue. That was on the list, but did not make the final cut in narrowing the scope.

3. Presentation of Petition Articles for November 2018 Town Meeting – 5 Minutes Each

Chair Moran announced there will be no public discussion of articles; the proper place for such public discussion is Town Meeting floor.

- a. Present Petition Article #22 – Amend Town Meeting Rules – Electronic Voting – J. Malcolm Donald

Mr. Donald made a PowerPoint presentation. Town meeting saw this in April, he has a new improved version. Reviewed voting methods: voice, standing, roll call and what they are used for. They have had a number of meetings where they use the electronic vote, it captures individual town meeting members yay or nay and sums them up. Changes the character of Town Meeting and hides indication of Town Meeting Member votes. Stepped up accuracy and secrecy; it will ask the Town Clerk to retain standing votes. People wanted an override and wanted to have a secret standing vote, so he has included a 2/3 vote of town meeting option of anonymity with an e-vote.

- b. Present Petition Article #23 – Phase Out Polystyrene and Expanded Polystyrene Foam – J. Malcolm Donald

Group has met with Board of Health for input regarding this article; consensus is to go back, limit the scope of the article, sharpen the focus, do some research on what other towns are doing, and avail themselves of Scott McGann's experience regarding retail food service and come back to town meeting with revised article. Hope to have revised article for this town meeting.

- c. Present Petition Article #24 – Establish Ranked-Choice Voting – J. Malcolm Donald
Power point presentation. Reviewed the problem, plurality voting, the individual votes. Plurality system fails to guarantee majority winners. Instead of voting for 1 candidate, rank choice allows you to vote in the order you prefer them. Explained how it works, first choices tallied, if any has a majority, than that's the winner. If not, eliminate the last place candidate and the second choice votes are retallied. Reviewed the communities that have implemented ranked choice voting.

- d. Present Petition Article #26 – Create Solid Waste Division within Department of Public Works – Linda Davis
Advocating for Solid Waste Manager, own meeting voted to create the division within the DPW headed by a solid waste supervisor, in 2012 Article 29 passed, and the DPW Deputy Director position was created. This position carried with it some solid waste responsibilities. However, the job descriptions of the DPW personnel director/deputy director/highway superintendent show that the municipal waste responsibilities are delegated across the leadership, not one central person. Management of solid waste is not a priority.

- e. Present Petition Article #27 – Additional Water Meter – Marc Finneran
Ask to vote to allow a second water meter in the sewer areas to use for homeowner for outdoor use because people pay more than twice as much for water in the sewer areas.

- f. Present Petition Article #28 – Fund ALICE Training – Michael Heylin-not present

g. Present Petition Article #29 – Create Three New Police Officer positions – Michael Heylin-not present

4. Presentation and Request for Letter of Support for a Bill to Establish the Nantucket Sound National Historic Landmark Act – Sandy Taylor, Alliance to Protect Nantucket Sound
Audra Parker present representing the Alliance to Protect Nantucket Sound and promoting legislation to name it as a historic landmark. Up to 3 miles out into the Sound is under State jurisdiction and already protected, the center is under federal jurisdiction, so they are trying to designate it as national historic landmark and prohibit federal agencies from authorizing any type of energy exploration projects in the future. They have support from Governor Baker and have a joint letter with fifty stakeholders and are asking the Board of Selectmen to sign onto that letter.

Mr. Jones is not inclined to sign the letter.

Mr. Patterson's concern is things will change over time and may need to push to more renewable energy, but he does not want to set a precedent that no matter how desperate, you cannot do it.

Ms. Parker said the idea is to have comprehensive ocean planning like we do on land. There are large scale projects moving forward, the other side is there are areas worthy of protection, it is a comprehensive planning program for some areas, they recognize some areas are worthy of protection and Nantucket sound meets that area. Muskegat channel is not included in the protection sought for Nantucket sound. She passed out a document to the Board of Selectmen.

No action was taken this evening.

5. Presentation on Planned Projects– Nate Mayo, Vineyard Wind
PowerPoint presentation.

According to Mr. Mayo, this is matter of ocean zoning, he reviewed how we got here and reviewed European development. Reviewed policies that brought us there, Global warming solutions Act, Energy Diversity Act, and Offshore Wind Contracts. In 2018 Vineyard Wind was awarded a contract to bring offshore wind into the grid. Fisheries representatives and community interests were brought into the process. Vineyard Wind is Avangrid Renewables and Copenhagen Infrastructure Partners; they are seeking long-term sustainable gains. Vineyard Power was a community coop seeking to originally have publicly owned projects and then changed their goals to partner with other entities and bring community benefit/ownership there. There are many other lease areas established. Their location would be about 14 miles south of Nantucket and 35 miles south of Cape Cod, 800 megawatts, up to 100 turbines, construction to begin in 2019, operational by 2021.

Mr. Mayo described the Project Envelope: enhanced flexibility benefits all stakeholders; permitting a range of options that become defined as the project goes along. Ultimately rate payer benefits because able to use most current technologies. Reviewed the two alternative routes to bring energy onshore. Benefits include meeting MA Clean Energy goals, reduced greenhouse gas emissions, marine mammal innovation fund \$3 million towards marine mammal protections with a steering committee to determine the priorities.

Benefits to the Town and regional economy include host community payments, job creation, and expansion of maritime industries.

Operations and management facility will be on Martha's Vineyard and will house many jobs during the life of the project. Consumer benefits include cost savings, resilience, reliability, and affordability.

Permitting process is high level, about 22 agencies and towns reviewing it. Ongoing research is being done. The public comment period closes on 10/5/18.

Chair Moran asked how the EDIC would connect with him on jobs, development of technology, and anchoring Falmouth to be right in there. Mr. Mayo would be their first contact.

Mr. Brown asked about research about suspecting that whales are unable to navigate through these fields and is there any evidence. Mr. Mayo said there is no evidence, but with ecosystem they cannot apply all projects to off the continental shelf. Need to be aware of that, baseline studies, preconstruction monitoring,

safeguards are in place during construction and they are working collaboratively with other groups. Evaluation may be done as project becomes operational. There has been a great deal of monitoring that has occurred, various issues including climate change. The New England Aquarium has done the bulk of monitoring on south side of the Cape. Animals' behavior differs each year.

Mr. Mayo invited the community to go to their website, Vineyardwind.com.

6. Minutes of Meetings:

Public Session

June 18, 2018

Mr. Jones motion approval. Second Mr. Patterson. Vote: Yes-4. No-0. Absent-1.

September 10, 2018

Mr. Patterson motion approval as edited. Second Mr. Jones. Vote: Yes-3. No-1. Absent-1. Abstain-1 (Mr. Brown).

Executive Session

August 20, 2018

Mr. Patterson motion approval and not release. Second Mr. Jones. Vote: Yes-4. No-0. Absent-1.

September 10, 2018

Mr. Patterson motion approval and not release. Second Mr. Jones. Vote: Yes-3. No-0. Absent-1. Abstain-1 (Mr. Brown).

7. Individual Selectmen's Reports

Mr. Brown

Attended the Island Queen cruise to benefit the senior center.

Public comments being reviewed from the community meeting at St. Anthony's Church.

Attended the New Bedford meeting regarding the Steamship Authority.

Attending Bikeways Committee meeting to get input on the Route 28 widening, along with future meetings with neighborhood associations, looking at what we can and cannot live with regarding road development. He will also ask them about the stairway with bike rail.

Mr. Patterson:

Attended Cape Cod Selectman's Meeting.

Attended the School Committee meeting, the year is off to a good start.

Attended Finance Committee, Conservation Commission, and Community Preservation Committee meetings. The CPC is looking at the articles being submitted and which ones did not qualify for the community preservation act funding.

Chair Moran thanked Mr. Johnson-Staub for his work on the Board of Selectmen meeting room technology and improvements.

8. Review of Town Manager's Report

Mr. Suso reported he attended Finance Committee and the Senior Center Building Committee meetings.

The dedication and open house for the water filtration facility was discussed with the option of Tuesday 10/16/18 from 4-6 pm, Mr. Suso will finalize and get back to the Board of Selectmen.

9. Review and/or Discuss Correspondence Received-none.

Mr. Jones requested the Heights meters go on future agenda.

Mr. Jones motion to adjourn at 9:58 pm. Second Mr. Patterson. Vote: Yes-4. No-0. Absent-1.

Respectfully Submitted,

Jennifer Chaves
Recording Secretary

DRAFT

TOWN OF FALMOUTH
BOARD OF SELECTMEN
Meeting Minutes
Open Meeting
MONDAY, OCTOBER 15, 2018
SELECTMEN'S MEETING ROOM
TOWN HALL

Present: Susan Moran, Chairperson; Megan English Braga; Doug Jones; Sam Patterson; Doug Brown.

Others Present: Julian Suso, Town Manager; Peter Johnson-Staub, Assistant Town Manager; Frank Duffy, Town Counsel.

1. Call to Order by Chair Moran at 7 pm.
2. Pledge of Allegiance
3. Proclamation-none.
4. Recognition

The Kirwin-Murray Bike ride this weekend doubled what was raised about \$25,000-30,000 for Falmouth Housing Corporation last year. Many volunteered and donated.

5. Announcements
On 10/25/18 a listening session regarding the Route 28 widening project will be held in the Hermann Room of the Falmouth Library.

Community Housing Forum 10/16/18 at 6:30 in the Falmouth Public Library Hermann Room.

The Board of Selectmen will be hosting a dedication of the Water Filtration Facility at 5 pm.

6. Public Comment
Richard Latimer expressed concern about the application of the bylaw imposing a requirement that persons working in second hand shops be fingerprinted. Chair Moran stated this is an item on the agenda and he will be heard at the point in the agenda for that item.

Carol Murphy, Falmouth Town Meeting Member wants to know why there was not adequate notice for the hearing regarding the open meeting law.

SUMMARY OF ACTIONS

1. Licenses
 - a. Approve Application for Eight Special One-Day All Alcoholic Liquor Licenses – Falmouth Theatre Guild – Highfield Theater, 58 Highfield Drive – November 2-3, 9-11 & 16-18, 2018
Mr. Jones motion approval. Second Ms. English Braga. Vote: Yes-5. No-0.
 - b. Approve Application for a Special One-Day Wine & Malt Liquor License – EC Event Management – Touch A Truck Fundraiser – Cape Cod Fairgrounds – Sunday, 10/28/18
Mr. Patterson motion approval. Second Ms. English Braga. Vote: Yes-5. NO-0.
Supports the fight against ALS.
 - c. Approve Request to Extend Seasonal All Alcoholic Common Victualler License Until January 2, 2019 – Landfall Restaurant, 9 Luscombe Avenue, Woods Hole
Mr. Jones motion approval. Second Mr. Patterson. Vote: Yes-5. No-0.
2. Administrative Orders
 - a. Vote to Approve Grant of License to Rest-A-While LLC to Maintain a Stone Wall along Old Dock Road at 3 Old Dock Road

Chair Moran has interest in an adjacent property and noted this does not prevent her from the vote.

Mr. Suso explained construction on the corner parcel across from West Falmouth Market was renovation of a parcel to a 2 family residential with stonewall construction on perimeter of the property adjacent to the Falmouth right of way. The Town was contacted by the property owner regarding damage the Town did to an adjacent sidewalk area. The old stonewall encroached on the road right of way, the property owner was notified, and this proposal came forward requesting the Board of Selectmen allow the encroachment on the road right of way. It has been reviewed by Attorney Duffy.

Ms. English Braga motion approval. Second Mr. Patterson. Vote: Yes-5. No-0.

- b. Vote to Approve Water Main Easement – The Cape Club, off Falmouth Woods Road
Mr. Brown motion approval Second Ms. English Braga. Vote: Yes-5. No-0.
- c. Vote to Approve Payment from Recreation Department Donation Account in the amount of \$738.78 to Anthem Sports for Volleyball Equipment
Mr. Patterson motion approval. Second Ms. English Braga. Vote: Yes-5. No-0.
- d. Approve Warrant for State Election on Tuesday, November 6, 2018
Mr. Jones motion approval. Second Ms. English Braga. Vote: Yes-5. No-0.
- e. Vote to Accept FY2018 Edward Bryne Grant (Dept. of Justice) Funding in the Amount of \$11,312.00 for the Falmouth Police Department to Purchase Two Speed Trailers and Fifty-Two Body Beacons
A body beacon is a rechargeable yellow light that is worn by the officer to increase visibility when doing stops.

Ms. English Braga motion approval. Second Mr. Patterson. Vote: Yes-5. No-0.

- f. Vote to Accept Donation from Priscilla Geraghty of Rand Atlantic, Inc. Cape Cod Realty in the amount of \$2,000 to the Falmouth Affordable Housing Fund
Ms. English Braga motion approval. Second Mr. Patterson. Vote: Yes-5. No-0.

3. Special Events

Recurring - Recommended:

- a. JazzTober – Arts Falmouth Inc. – Queens Buyway and Main Street – Saturday, 10/20/18 and Sunday, 10/21/18
Ms. English Braga motion approval. Second Mr. Patterson. Vote: Yes-5. No-0.
- b. Main Street Stroll (Holidays-by-the-Sea) – Falmouth Village Association & Falmouth Chamber of Commerce – Close Main Street from Village Green to Shore St. Ext. – Saturday, 12/8/18
Mr. Jones motion approval. Second Mr. Patterson. Vote: Yes-5. No-0.
- c. 6th Annual Jingle Jog & Seafaring Santa – Falmouth Chamber of Commerce – Bandshell and Marina Park – Saturday, 12/8/18
Ms. English Braga motion approval. Second Mr. Patterson. Vote: Yes-5. No-0.
- d. 55th Annual Christmas Parade – Falmouth Chamber of Commerce – Route: Dillingham Ave. to Davis Straits to Village Green via Main St. – Sunday, 12/9/18
Ms. English Braga motion approval. Second Mr. Jones. Vote: Yes-5. No-0.
- e. 9th Annual Flag Day 5K – Richard Sherman – Falmouth Heights – Route: East 1.5 Miles Starting at 263 Grand Avenue and Back – Sunday, 6/16/19
Ms. English Braga motion approval. Second Mr. Patterson. Vote: Yes-5. No-0.
- f. Falmouth 4th of July Fireworks – Falmouth Fireworks Committee – Falmouth Heights Beach and Ball Field – Thursday, 7/4/19
Mr. Patterson motion approval. Second Ms. English Braga. Vote: Yes-5. No-0.
- g. Cape Cod Marathon Weekend – Jack Afarian, Falmouth Track Club – Saturday, 10/26/19 and Sunday, 10/27/19
The route will showcase more of Falmouth coastline, Mr. Patterson suggested it begin at Lawrence School along Hamlin, Library Lane, so they are not taking parking spaces near churches on the green on a Sunday morning. Mr. Johnson-Staub noted the route was changed to make it less

onerous on the Falmouth Police Department, requiring fewer details, reviewed favorably by the Falmouth Police Department and committee.

Chief Dunne noted it will start on village green and described the new route, however this year the route will go through various villages. The Falmouth Police Department works with the churches, the runners are gone before the church services begin and the runners' parking is at the schools, they do not take up spots on Main Street.

Ms. English Braga motion approval. Second Mr. Patterson. Vote: Yes-5. No-0.

New - Recommended:

- a. Chris Wetherbee 19th Annual Memorial Toy Run – Fundraiser/Motorcycle Ride – Tammy Baptiste – Route: Buzzards Bay to Carriage House Shelter, Old Main Road – Sunday, 11/4/18

Tammy Baptiste, co-coordinator, addressed the Board of Selectmen. Reviewed the route included in the packet. Chief Dunne has given his support in this event. She cannot guarantee the participants will not have louder than allowed motorcycles. They would arrive in Falmouth after 11am and arrive at the Carriage House about noontime.

Ms. English Braga motion approval. Second Chair Moran. Vote: Yes-4. No-1 (Mr. Jones).

- b. Stroll & Roll for Compassionate Care ALS Fundraiser Walk – Ron Hoffman – Route: Bike Path from Bourne Farm to Old Dock Road and Back – Saturday, 5/18/19

Mr. Patterson motion approval. Second Ms. English Braga. Vote: Yes-5. No-0.

PUBLIC HEARINGS

7:30 p.m.

1. Fee Hearing – Police Department – Fingerprint Processing Fees

Richard Latimer stated this bylaw may be unconstitutionally overbroad in certain respects, not related to a rational public purpose. Deals generally to dealers and second hand goods, including church thrift shops. The church thrift shops do not pay for their goods and workers are volunteers. Churches are exercising a religious mission supporting their church. Under the 4th amendment it is an undue burden for volunteers to give their information to authorities and for the establishments to pay for such. Town Meeting should go back and make it clear.

Chair Moran stated that given that objection, she suggests the hearing be continued for 2 weeks to provide Town Counsel time to review these concerns.

Ms. Murphy stated this was a violation of the Open Meeting Law, they were given 48 hours notice excluding Saturday and Sunday. She had a conversation with the Attorney General's Office this morning and they confirmed that this meeting needs to have adequate public notice, which was not given.

Attorney Duffy stated that he received a letter from Ms. Murphy around 3pm today and can get back to the Board of Selectmen in 2 weeks to address these concerns.

Ms. English Braga motion schedule this matter for a two week date. Second Mr. Patterson. Vote: Yes-5. No-0.

Mr. Suso noted need to re-advertise in its entirety if the hearing notice is not read today.

7:45 p.m.

2. Fee Hearing – 2019 Town Department Fees
Chair Moran read the hearing notice.

1/1/19 effective date.

Mr. Suso noted a list of proposed fees from various departments solicited and suggested as a matter of routine and individuals are available to explain the fees.

The Board of Selectmen will not vote tonight, it will just be a presentation.

Beach fees were reviewed, beach sticker \$40, one week sticker \$80, two week \$130, 3 week 175, 4 week 225, summer seasonal 275, daily parking \$15 for noted beaches. Mr. Jones recommended increasing week long stickers by \$10. Ms. English Braga noted the increase for tax payers and if increase in other stickers could effectuate the needs of the department, she would like to see the resident taxpayer remain the same. Chair Moran noted there are not that many multiple week stickers sold and many more resident stickers. Ms. English Braga would like to know the difference in the amount of stickers sold per category.

Board of Selectmen advertising fees liquor \$50, wetlands/dock \$70, aquaculture \$85, fuel storage tank \$35, shade tree hearing \$35, and building code \$35. Mr. Suso noted the cost to advertise and administrative support are significant and the fees help support that.

Steve Rafferty, Water Superintendent, reviewed the cost of a meter on property, suggesting the change to recover the cost of the meter and administrative costs.

Health Department fees in the packet reviewed.
Scott McGann, Health Agent, was present.

Inspectional Services fees in the packet reviewed.

Sealer of Weights and Measures fees in the packet reviewed. The adjustment fee device will be clarified.

Marine and Environmental Services fees in the packet reviewed.

Recreation Fees in the packet reviewed.

Joe Olenick, Recreation Department Director, was present. He received a report back from auditor last year and the report indicated that Falmouth was underpriced as compared to other communities. The Recreation Committee suggested a modest increase for basic programs may be appropriate. The Recreation Department assists with registration, they try to get scholarship requests from school adjustment counselors, they put out 5 per school, sometimes more, try not to decline anyone based on need. Mr. Olenick can implement the suggestion that an option to pay extra for another registration be put on the program registration document.

Public comment in favor or against:

Recreation Committee Member (Robert Brown) told the Board of Selectmen he voted no because we are missing an Assistant Recreation Director, cutting staff, and raising the cost by \$4. The position is important, he and others feel that there are not enough recreation programs or staff, noting part of the Assistant Director of Recreation job is to make frequent contact with the schools and others in Town to work on eliminating barriers to becoming active in the programs.

Mr. Jones motion to continue the hearing for two weeks. Second Ms. English Braga. Vote: Yes-5. No-0.

If people have suggestions/comments, send them to the Board of Selectmen email.

BUSINESS

1. Interview, Vote and Appoint Committee Member:
 - a. Affordable Housing Committee – Liz Bassett
Ms. Bassett and Cary McCormick withdrew their applications.

Ms. English Braga motion to appoint Jessica O'Brien to a term ending 6/30/21. Second Mr. Patterson. Vote: Yes-5. No-0.

2. Report – Coastal Resiliency Action Committee (CRAC)
Charles McCaffrey, Chair of the CRAC. He provided a memorandum to the Board of Selectmen on a study for improving resiliency on Menauhant Beach. The CRAC supports the project for nourishment,

inlet widening, and bridge replacement which protects the road by nourishing the beach. Report recommended the amount of nourishment and addition of 2 groins, that aspect the CRAC feels is not necessary at this time because of the general sense that hard structures tend to interfere too much with natural coastal processes that are important to resiliency. It is also unlikely the additional groins would get regulatory approval. More frequent dredging in the long run would be better. In undertaking nourishment projects like this, they need consider the maintenance needed. Significant changes in shoreline will be faced in the long term, at some future point maintaining the road may not be viable, but we are not there yet and it is worth doing this project at this time. Permitting will need to include contingencies for future events.

Chair Moran noted the Board of Selectmen was provided 3 options: do nothing, nourish vulnerable area, or nourish and add the groins. The CRAC is supporting the second.

Chair Moran noted as part of recommending nourishment, they recommend some money be put aside in the capital plan so this is continued moving forward. Mr. McCaffrey said they need to be aware that these projects need to be supported in the future and understand that type of long term commitment recognizing that changes will occur.

Mr. Jones noted the expert's presentation was clear and the CRAC's recommendation is different.

Chair Moran noted the prior presentation suggested the permitting for the groins may be allowed. Why does Mr. McCaffrey think the expert is wrong with that and why does the CRAC believe there is a chance they will not be approved. That is a key issue in investing time/energy/engineering in seeking the permitting.

Ms. English Braga would like to hear more about the CRAC's position that with the groin renourishment in 10 years, without renourish in 8 years.

DB thinks if abandon the old groin remnants, than we'll never go back to groins.

Mr. McCaffrey explained the committee has received information from multiple sources to enhance their understanding of the issues. Flood insurance rate credits may improve as they show FEMA what reductions are being made to reduce damage from storms. Held a workshop on vulnerability, based on a report from that workshop, the State found them eligible to receive funds and the Governor has indicated there will be up to \$3 million in bond money for coastal resiliency.

Town meeting appropriated \$80,000, the Woods Hole Group is developing a model of what our risks are, that should be done by June 2019 with recommendations and working with the CRAC on how to address those risks.

Chair Moran noted that the State is generous with shovel ready projects, fact that the CRAC is in the position to vie for these grant funds is an important point.

Mr. McCaffrey made a PowerPoint presentation on the outline of coastal resiliency. The natural forces include flooding, erosion, Nor'easter, tropical storms and hurricanes, and sea level rise. Resources and uses at risk include public infrastructure, private development, vulnerable populations, beaches, fish and wildlife habitat, and groundwater. Government programs and laws including national flood insurance program, wetland regulations, Coastal Barriers Resources Act, Cape Cod Commission, MA Coastal Zone Management, MA Municipal Vulnerability Program, Multi Hazard Mitigation Program, Town land use regulations, and Town capital budget.

Policies will be looked at as well in dealing with coastal resiliency.

Implementation in projects, look to what the time frame will be, look to near term, mid century, end of century, and post major storm (hurricanes).

Chair Moran asked if a member of the CRAC may attend the county resiliency committee.

The CRAC has a website and welcomes input from neighborhoods and solicit info from neighborhoods re: nuisance flooding.

The CRAC has not looked at specific techniques yet.

3. Presentation of Weston & Sampson Consultants Report on Potential Relocation/Repurposing of the Wind Turbines

The meeting will be taped by a community member.

Chair Moran provided an overview that the Board of Selectmen has been working with building inspector's directive and community concerns, pushing for more information on options going forward. This is an early report and will not contain all possibilities, continue community input.

Stephen Wiehe, geologist and has worked for Weston & Sampson for past 11 years. Made a PowerPoint presentation. Looked at 44 sites to study various energy, many solely on wind. Reviewed projects they have been involved in over the years including wind and solar. Involvement with Wind 1 (W1) and Wind 2 (W2) design and examine the feasibility of implementing an action of moving the turbine so as to lessen the impact of the turbine. Scope was described evaluate alternate location for W2, estimate likely sound impacts, estimate likely shadow flicker impacts, estimate energy production, opine of probable cost, alternate use of W1, and economic analysis for relocation of W2. For alternate use of W1, because of some of the permitting pathways they were directed to file and support ZBA and that was identified as the proper pathway for permitting. That permit was denied by the ZBA. If W1 not legal where it stands, have to look at moving it or taking it down. Alternate uses could be as a cell tower, looking at selling, or selling the spare parts. Both W1 and W2 could be relocated out of Town but only W2 could be relocated in town.

Reviewed the site configuration and map of the Water Treatment Facility, existing locations of the turbines and the proposed site configuration. Moves W2 about ½ mile from present location to the alternate location 1, called this because there are multiple places it could be sited. A road would need to be built, clearing has to be done to erect this. Likely sound impacts were reviewed based on data that was provided by other companies that studied this and plotted the data sound impacts may be.

Shadow flicker impacts reviewed.

Energy production reviewed, modeling variables reviewed. Summary of probable cot was reviewed and totaled about \$3,025,000.

Alternate uses of W1: could be dismantled and used for parts, scrapped for salvage value, could be sold to a third party, moved and used elsewhere, or the tower could be used as cellular communications tower.

They completed an economic analysis and this was reviewed. The benefit would be about \$5 million over 20 years. The turbines have a minimum 20 year design life, often longer and could last 20-30 years. Using the turbine less lengthens the life; if it were sitting and laying on the ground, then it would probably have a shorter life. Because it is up and not spinning, it is moving a minimum amount and that keeps the systems going.

Mr. Suso said that as part of their stewardship, the manufacture has done maintenance even during the shut down.

Mr. Jones asked whether it was reasonable to assume they could take the bow tie shape; if put higher, the shadows would get longer. It would be this or less and not pass Route 28.

Permitting through a Special Permit application to move, if they do not issue the permit, than it could not be built in this location.

Costs for W2 would be about \$5 million, for W1 dismantling and reconstruction in a new location would cost about \$3 million. P. 6.7 table 14 was reviewed, table 12 are project benefits, table 13 project costs. This includes credits, sale of renewable energy credits, and not having to purchase energy to run the water filtration plant.

Ms. English Braga noted that \$5 million number regarding W2 does not include the cost incurred from W1.

Mr. Jones noted if W2 was relocated, then the \$5 million grant likely remains a grant and will not have to be repaid.

According to Chair Moran, this presentation was released to the public today, there are many other projects that need to be addressed. It will take some time to review other alternatives, the Board of Selectmen wanted an opportunity for the public to review it, planning to look, along with other interested boards. This provides time for the Board of Selectmen to digest this first information and possibilities.

Mark Cool, Precinct 6, commented that he expects pushback because of uncertainty regarding zoning classification and whether the structure is considered noncomplying or nonconforming structure. W1 was removed because it was noncomplying, but the Building Commissioner was silent in response to Funfar regarding W2.

Ron Zweig, Precinct 1 and Town Meeting Member, commented on the headline in Friday's newspaper regarding the lawsuit keeping development on hold. He questions Barnstable Superior Court decision to not operate the turbines; that came after a jury trial in June 2017 regarding whether the turbines were a nuisance; not one juror considered them a nuisance at all. The Appeals Court was interested in the 2007 legislation to put the turbines up and operate. The Town wide vote was held on 5/21/13 regarding financing removal of the turbines and was voted down. Even though the Town voted not to finance removal, we are spending money.

Dave Moriarty asked questions of the engineer through Chair Moran. Blade replacement, costs \$1 million per blade. Bearing will need replacement. It is not economically feasible to move the turbines.

Katherine Elder, Precinct 6, was overwhelmed with moving W2 so close to the impacted neighbors after all they have been through. Why were other locations not considered, if appropriate here why not elsewhere in Falmouth? \$3 million to move, there was an option during the WTOP study to replace turbines with solar and it was just over \$2 million, is that an option? Maybe a solar project with no negative impacts on our neighborhoods.

John Tierney, Precinct 8, supports the turbines and is impressed with the report. He is pleased the Board of Selectmen is looking at alternatives and options. Did the Board of Selectmen, Town Counsel, or Judge Morris consider the original agreement, which promised no local restrictions would be applied.

Additional comments will be accepted by the Board of Selectmen in writing.

4. Sign Variance Request – Off-Premise Promotional Signs – Gosnold – National Prescription Take Back Day – Saturday, 10/27/18

Ms. English Braga motion approval. Second Mr. Patterson. Vote: Yes-5. No-0.

5. Minutes of Meetings:
Public Session
August 20, 2018

Mr. Jones motion approval with edits. Second Mr. Patterson. Vote: Yes-5. No-0.

6. Individual Selectmen's Reports
Mr. Brown:
Attended the coffee with a cop.

Attended meeting with senator Vinnie deMacedo regarding the head of MA Development and asked him to push for continued effort to fund the state pier and include a temporary freight service through there. Cost estimates for north terminal are being streamlined.

Attended the WHOI dinner.

Attended Veterans' Council Meeting.

Mr. Patterson:

Attended the Falmouth High School Multi Purpose Field Advisory meeting, the RFP generated by the consultant does not meet the state regulations, so it is being reissued and likely will not affect the schedule of completion.

Attended the Conservation Committee Meeting.

Attended the Steamship Authority internal design public meeting.

Attended the Cape cod Commission Regional Plan and policy draft presentation, which is out for comment. It is a useful document to look at regarding planned use and comprehensive plan.

Attended the Zoning Board of Appeals hearing regarding the application for a comprehensive permit for 587 Gifford Street project, favorable and in order to approve it they had to draft findings and conditions.

Attended the Charter Review Committee meeting today.

Ms. English Braga:

Attended the Bikeways Committee meeting and public comment session on the Route 28 widening project. Very positive discussion was had.

The Affirmative Action Committee is trying to be more engaged, they will do a free film screening called the Color of Fear on 11/15/18 at 6:30pm in the Harborview Community Room at the Falmouth Housing Authority, 115 Scranton Avenue.

The Solid Waste Advisory Committee spent time looking at MacDonald's' petitioners article about styrofoam, helpful comment to streamline the article, they will review it again and the Health Department will look at it again.

Mr. Jones:

Falmouth Fund event for local organizations doing great things in Town and reviewed the organizations that received funding.

7. Review of Town Manager's Report

Mr. Suso noted a week from tonight at 7 pm will be the joint meeting with Finance Committee.

Dedication for water filtration plant will be held at 5 pm tomorrow at the 650 Gifford Street facility and the public is invited to attend.

The public meeting on the Main Street/Teaticket Route 28 Widening project will be on 10/25/18 from 6pm-730pm in the Main Library Hermann Room. The DPW and design consultant will be present. Design plans are not yet complete. Ms. English Braga noted there is time for public comment.

Mr. Johnson-Staub attended the first meeting of the Shellfish Advisory Committee.

Mr. Johnson-Staub stated the subcontractor bids have been received for the Senior Center construction and explained the Town bidding process.

8. Review and/or Discuss Correspondence Received

Mr. Jones motion to adjourn at 9:36 pm. Second Ms. English Braga. Vote: Yes-5. No-0.

Respectfully Submitted,

Jennifer Chaves
Recording Secretary

REPORT

TO: Board of Selectmen

FROM: Julian M. Suso

JMSuso

DATE: November 2, 2018

- The Board will convene in a “public information and listening” session on the Main Street reconstruction project beginning at 5PM at the Falmouth High School Auditorium on Monday. This will be followed at (approximately) 6:30PM with the Board’s regular business meeting at the same venue.
- I attended the Precinct Meeting for Precincts 8 and 9, held at the Navigator on Thursday evening. Good discussion/dialogue, focusing primarily on the multiple zoning-related issues to be considered at November Town Meeting.
- Having received the FY20 budget requests/narratives from Town departments, I am beginning the internal review and analysis process. As you know, this is in anticipation of bringing a proposed FY20 annual operating budget to Selectmen no later than January 1 as per the Town Charter. As has been the case in the past, budget requests exceed anticipated available revenues by a few million dollars. Much analytic and deliberative work lies ahead.